



SUBJECT SITE

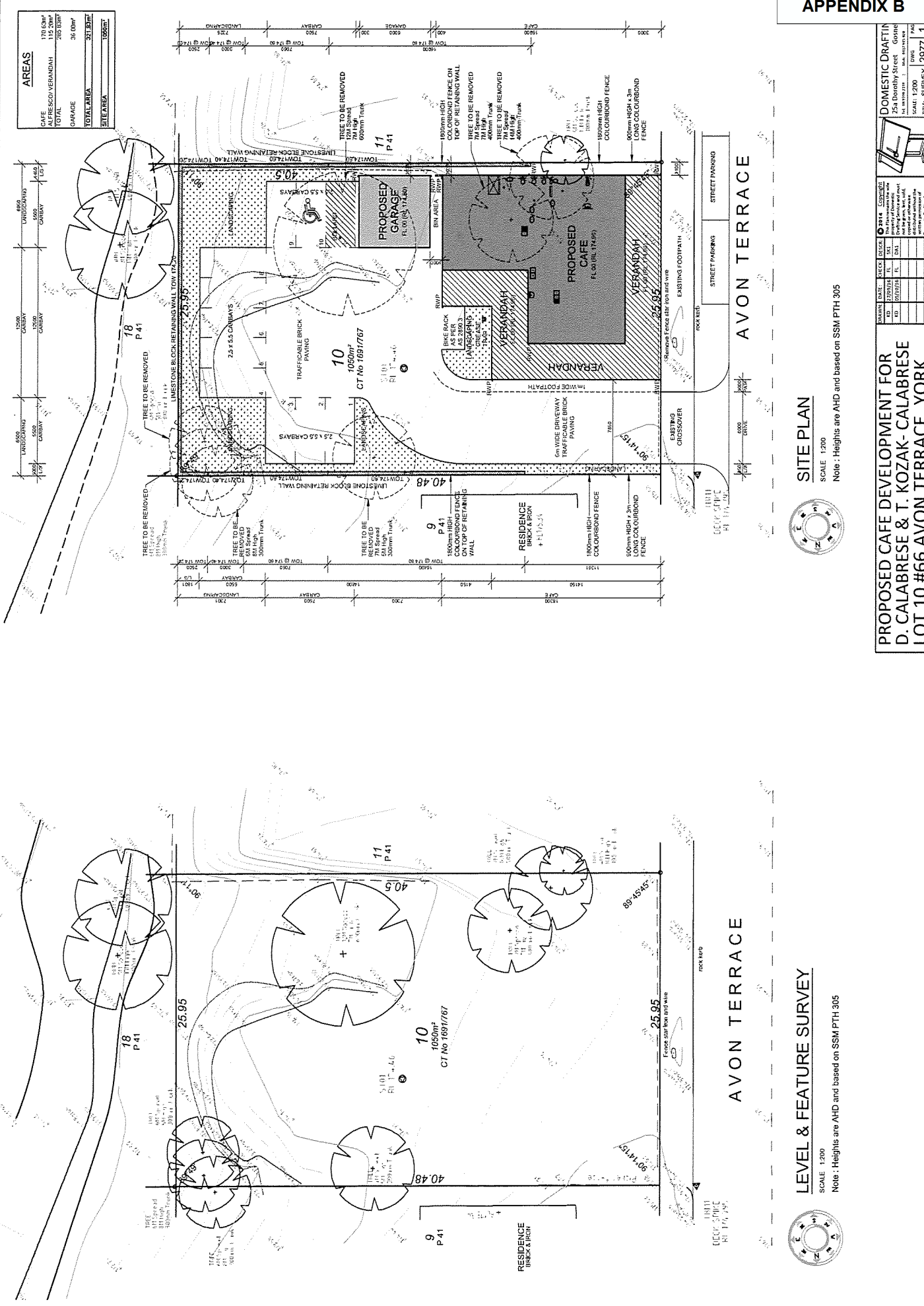
THORN ST

MARY ST
P ROAD

AVON TCE
P ROAD

33 116 768 Dearea

AREAS	
CAFE	170.00m ²
ALFRESCO/VERANDAH	115.00m ²
TOTAL	285.00m ²
GARAGE	38.00m ²
TOTAL AREA	323.00m ²
SITE AREA	1000m ²



SITE PLAN

SCALE 1:200

Note: Heights are AHD and based on SSM PTH 305



LEVEL & FEATURE SURVEY

SCALE 1:200

Note: Heights are AHD and based on SSM PTH 305



**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK-CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

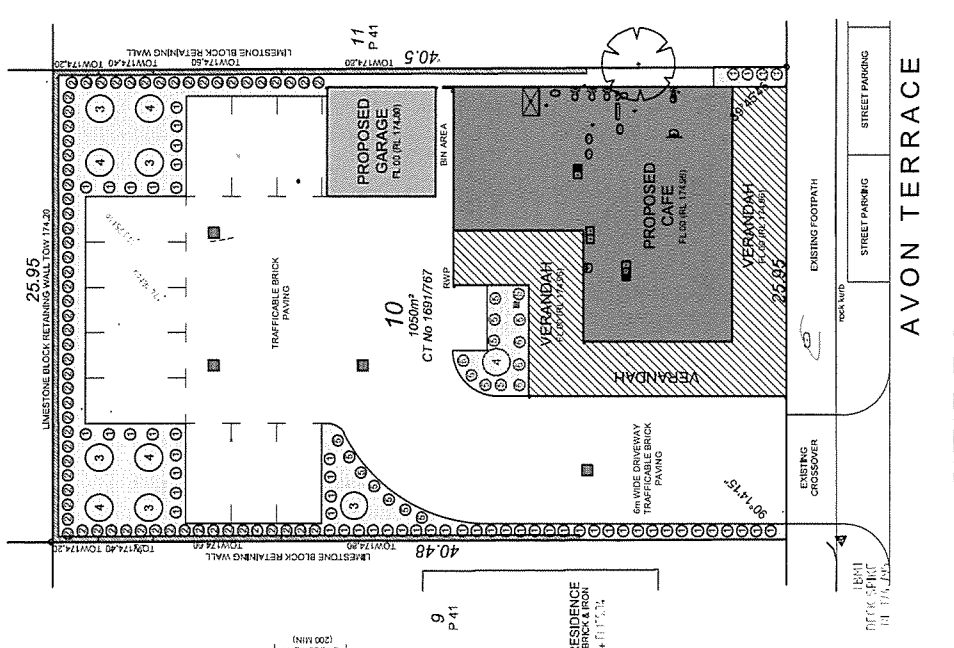
NO	DATE	REVISION	BY	CHECKED	SCALE	PROJECT
1	20/07/18	REVISED	DL	SL	1:200	PROPOSED CAFE DEVELOPMENT FOR D. CALABRESE & T. KOZAK-CALABRESE LOT 10 #66 AVON TERRACE, YORK
2	20/07/18	REVISED	DL	SL	1:200	PROPOSED CAFE DEVELOPMENT FOR D. CALABRESE & T. KOZAK-CALABRESE LOT 10 #66 AVON TERRACE, YORK

DOMESTIC DRAFTING
25a Dorothy Street
Gosnell Park
NSW 1500
PHONE: 02 9390 1000
FAX: 02 9390 1001
WWW: www.drafting.com.au

DATE: 20/07/18
DRAWN BY: DL
CHECKED BY: SL
SCALE: 1:200
PROJECT: PROPOSED CAFE DEVELOPMENT FOR D. CALABRESE & T. KOZAK-CALABRESE LOT 10 #66 AVON TERRACE, YORK
SITE SURVEY: 2977 | 1

No.	BOTANICAL NAME	COMMON NAME	DESCRIPTION	POT SIZE	QTY
1	Lavandula Elogata	Lavender	Height Colour between Blue, Purple, Blue.	120mm	57
2	Prostranthus-Turcon Blue	Prostranthus-Turcon Blue	Medium-Erect Stem, Blue Flowers similar to Hancock Nasturtium	120mm	66
3	Cistus Luncan	Euroleban	Evergreen Tree Producing Luscious	426	5
4	Mimranin	Clematis	Evergreen Tree Producing Luscious	426	5
5	Rosa Plintheff #8pp	Burned Rose	Low Spine Climbing Plant, with White to Cream Coloured Flowers	40mm	10
	Mulch	Jungle Mulch	A Rich Mixture of Compostable Mulch registered to a Depth of 100mm	100mm Thick	186m ²

LANDSCAPING LEGEND

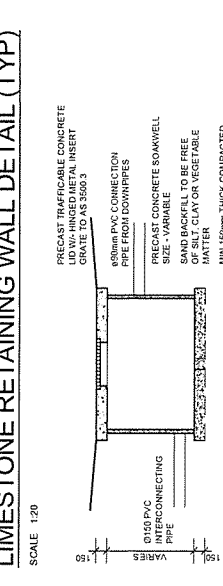
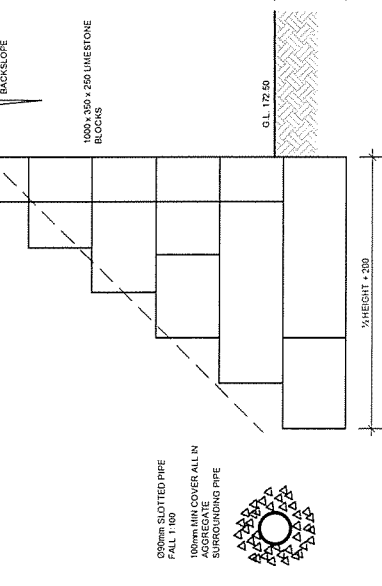


LANDSCAPE PLAN
SCALE 1:200
Note: Heights are AHD and based on SSM PTH-305

DOMESTIC DRAFTING SERVICE
25a Dorothy Street Goswells WA 6110
Tel: 9437 1111 Fax: 9437 1111
Email: info@domesticdrafting.com.au
Website: www.domesticdrafting.com.au

DATE: 29/7/14
PAGE: 2/4
JOB NO: 29771

- ### LIMESTONE RETAINING WALL NOTES:
1. ALL STONE TO BE PLACED BEHIND WALL WITHIN A DISTANCE EQUAL TO THE RETAINED HEIGHT.
 2. ALL GROUND BENEATH THE WALL AND IN FRONT OF THE WALL AFTER CONSTRUCTION TO BE COMPACTED TO ACHIEVE A MINIMUM OF 7 BLOWS PER 300mm.
 3. ONLY GOOD GRADE SANDY BUILDING LIMESTONE BLOCK TO BE USED.
 4. DO NOT FILL VOIDS WITH RUBBLE.
 5. SAND COVER ALL IN AGGREGATE SURROUNDING PIPE.
 6. PROCEED WITH BACKFILLING A MINIMUM OF 7 DAYS AFTER LAYING BRICKWORK.
 7. BACKFILL LAYERS NOT EXCEEDING 300mm USING CLEAN SAND FREE OF VEGETABLE MATTER AND RUBBLE.

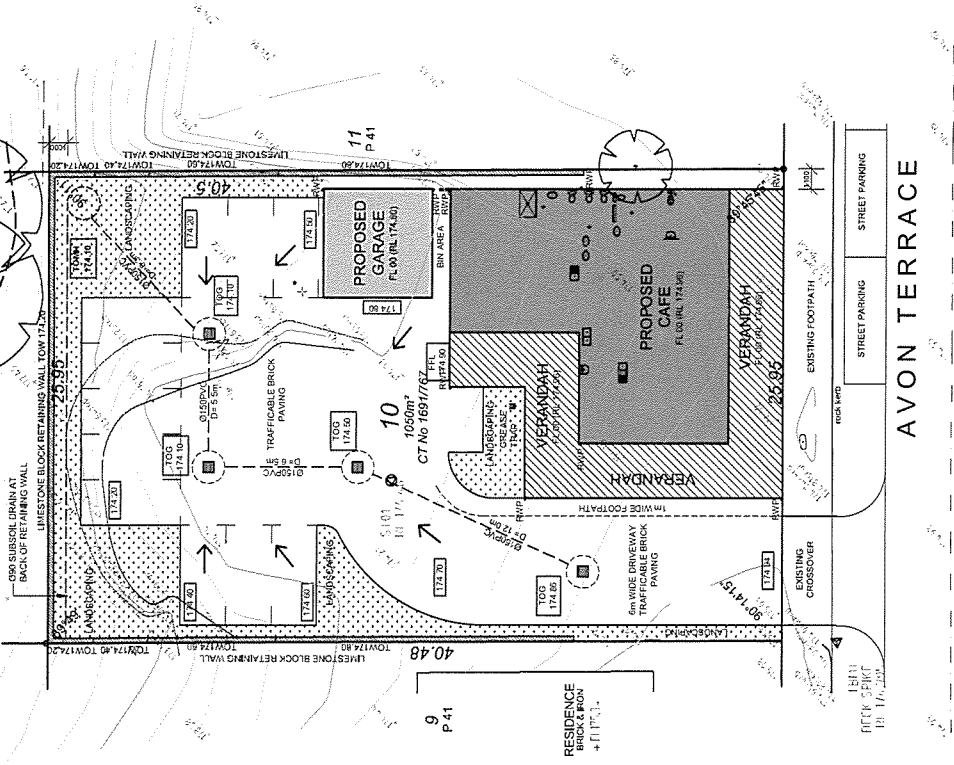


- ### EARTHWORKS AND DRAINAGE NOTES
1. REMOVE ALL VEGETABLE AND DELETERIOUS MATTER FROM AREA OF CONSTRUCTION.
 2. PROVIDE PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER CONSTRUCTION.
 3. PROVIDE PROPER DRAINAGE TO PREVENT WATER FROM ACCUMULATING UNDER CONSTRUCTION.
 4. ALL SITE WORKS TO BE IN COMPLIANCE WITH AS 3788 - EARTHWORKS FOR RESIDENTIAL AND COMMERCIAL DEVELOPMENTS.
 5. CONTRACTOR TO BE RESPONSIBLE FOR THE PROTECTION AND PROTECTION OF ALL UTILITY SERVICES ON SITE AND WITHIN THE ROAD RESERVE. DIAL 1100 AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORKS FOR LOCATION DETAILS.
 6. CONNECT ALL ROOF WATER INTO STORMWATER PITS VIA 50MM PVC PIPES AND FITTINGS. LAD AT MIN GRADE 1:200. MIN COVER 300MM.
 7. ALL LEVELS ARE TO AHD.
 8. SITE TO BE LEFT CLEAN & FREE OF RUBBISH & DEBRIS UPON COMPLETION.

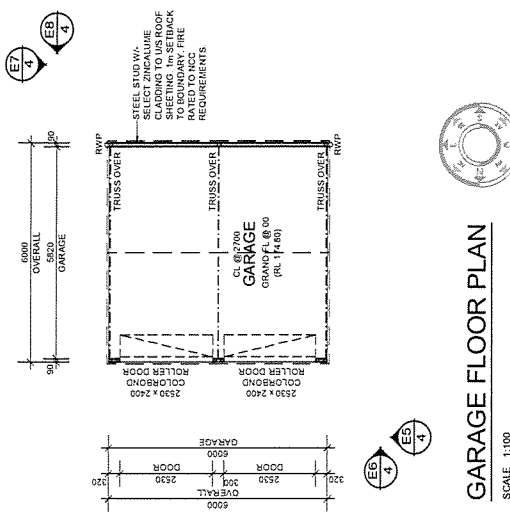
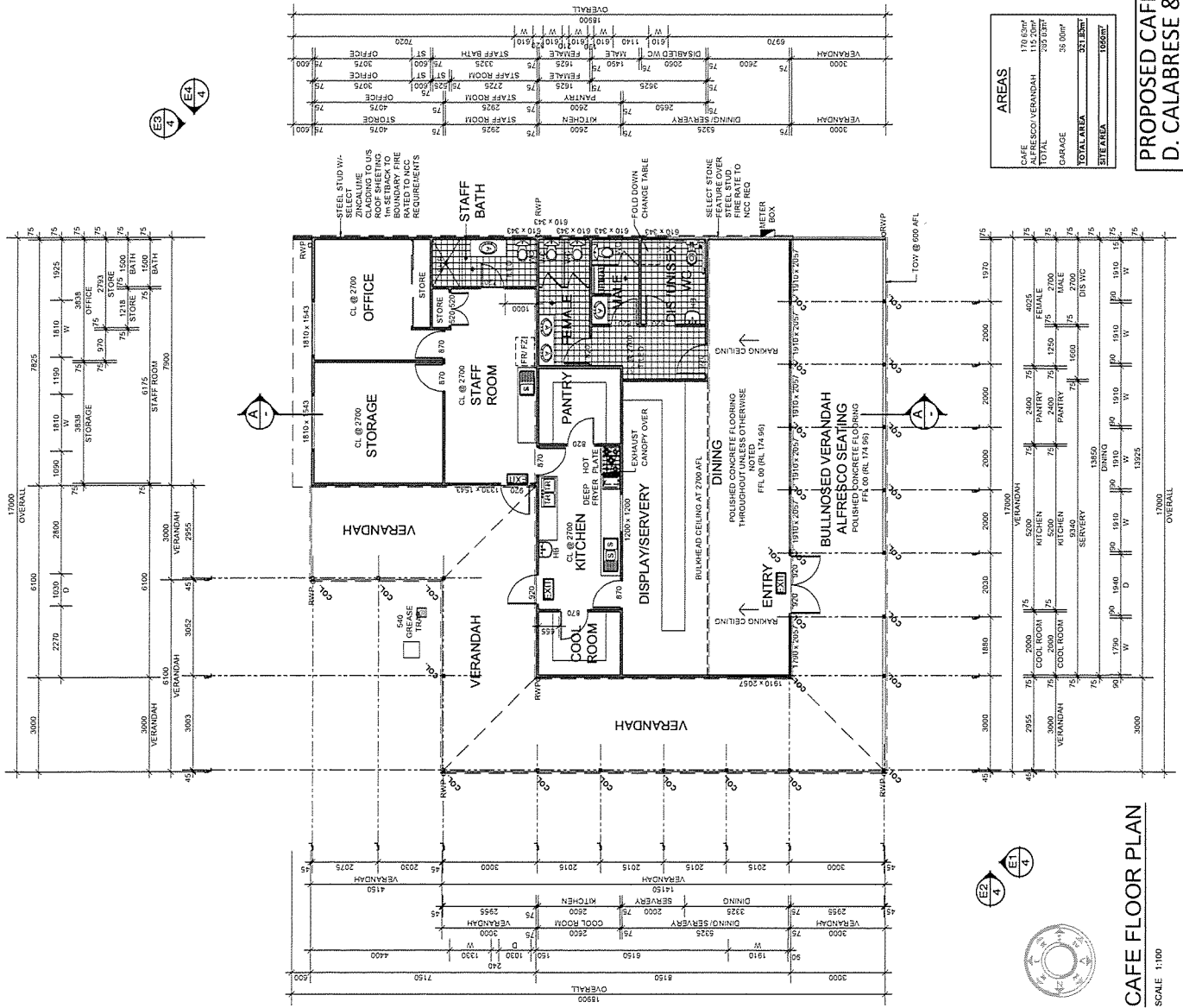
LANDSCAPE AND RETICULATION NOTES:

1. ALL LANDSCAPE BEDS ARE TO BE PREPARED WITH GOOD QUALITY LOAM.
2. ALL PLANTS TO BE WATERED WITH SUB-SURFACE BRICKWORKS VIA SUB-SURFACE DELIVERY SYSTEM TO THE BASE OF THE PLANT.
3. THE LAWN AREAS TO BE IRRIGATED VIA A SUB-SURFACE SYSTEM INSTALLED PRIOR TO LAYING WATER PLANTS AND LAWN AREAS PERMITTED BY WATER RESTRICTION TIMES AND DAYS.

- ### DRAINAGE CALCULATIONS
- CATCHMENT AREA = 1000m²
LANDSCAPE AREA = 868m²
TOTAL CATCHMENT AREA = 1868m²
- CAPACITY REQUIRED = CATCHMENT x 0.003 = 5.604m³
= 868 x 0.006 = 5.208m³
- DIAMETER x DEPTHS = QTY. CAPACITY
1800 x 1000 = 18.25m³
- TOTAL SITE CAPACITY = 18.25m³



DRAINAGE PLAN
SCALE 1:200
Note: Heights are AHD and based on SSM PTH-305

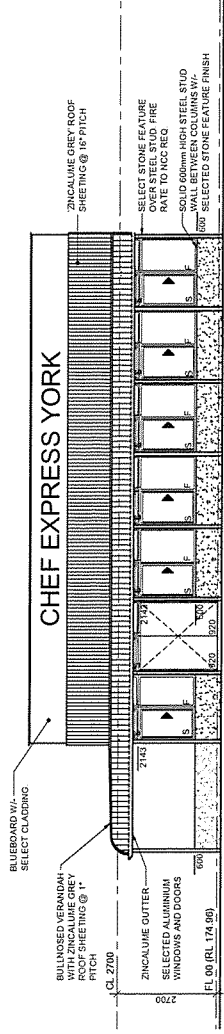


CAFE FLOOR PLAN
SCALE 1:100

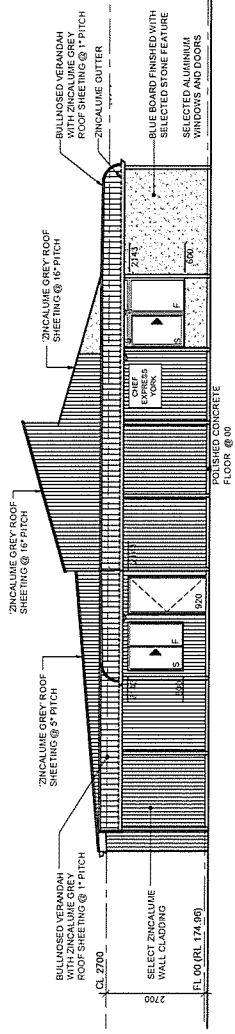
**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK-CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

DOMESTIC DRAFTING SERVICE
25a Borahy Street Gosnell WA 6110
Tel: 08 9437 1100 Fax: 08 9437 1101
www.domesticdrafting.com.au

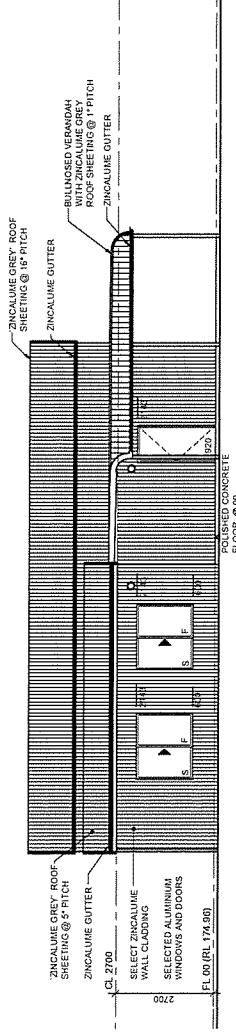
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PROJECT NO. 20140101			
PROJECT NAME: 25a Borahy Street Gosnell WA 6110			
PROJECT TYPE: Residential			
PROJECT STATUS: Final			
PROJECT VALUE: \$200,000			
PROJECT LOCATION: 25a Borahy Street Gosnell WA 6110			
PROJECT REFERENCE: 25a Borahy Street Gosnell WA 6110			
PROJECT DRAWING NO. 20140101			
PROJECT DRAWING TITLE: CAFE FLOOR PLAN			
PROJECT DRAWING SCALE: 1:100			
PROJECT DRAWING DATE: 27/07/14			
PROJECT DRAWING BY: TL			
PROJECT DRAWING CHECKED BY: TL			
PROJECT DRAWING APPROVED BY: TL			
PROJECT DRAWING DATE: 27/07/14			
PROJECT DRAWING BY: TL			
PROJECT DRAWING CHECKED BY: TL			
PROJECT DRAWING APPROVED BY: TL			



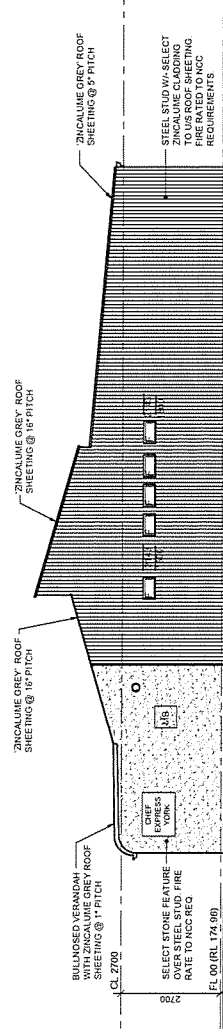
E1 FRONT ELEVATION (WEST)
SCALE 1:100



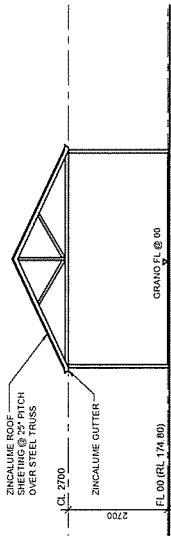
E2 ELEVATION (NORTH)
SCALE 1:100



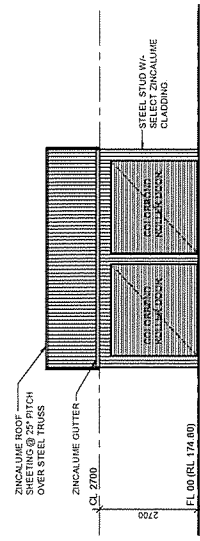
E3 ELEVATION (EAST)
SCALE 1:100



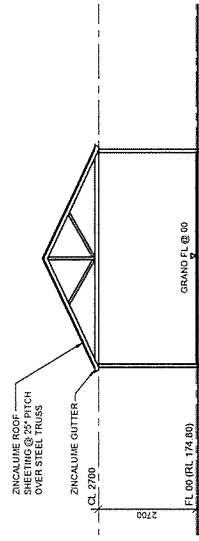
E4 ELEVATION (SOUTH)
SCALE 1:100



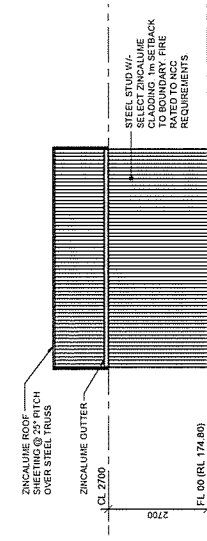
E5 ELEVATION (WEST)
SCALE 1:100



E6 ELEVATION (NORTH)
SCALE 1:100



E7 ELEVATION (EAST)
SCALE 1:100



E8 ELEVATION (SOUTH)
SCALE 1:100

**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK-CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

NO.	DATE	PROJECT	SCALE	COMMENTS
1	27/07/13	TL	S11	The first version of the drawing is for the client's review only. It is not to be used for construction.
2	07/07/13	FL	D41	Client's review and approval of the drawing.
3				Client's review and approval of the drawing.
4				Client's review and approval of the drawing.
5				Client's review and approval of the drawing.
6				Client's review and approval of the drawing.
7				Client's review and approval of the drawing.
8				Client's review and approval of the drawing.
9				Client's review and approval of the drawing.
10				Client's review and approval of the drawing.

DOMESTIC DRAFTING SERVICE
25a Dorabatty Street Gosnells, WA, 6110
Tel: 08 9437 1100 Fax: 08 9437 1101
www.domesticdrafting.com.au
1:100
2977 | 4 | 14 | DA1

CHEF EXPRESS YORK CAFE - PIZZERIA

E1 FRONT ELEVATION (WEST)

Size of lettering is 300mm

Red and green lettering with black border on white background.

Length of sign is approx 2400mm to suit lettering size and spaces.

CHEF EXPRESS
YORK
CAFE - PIZZERIA

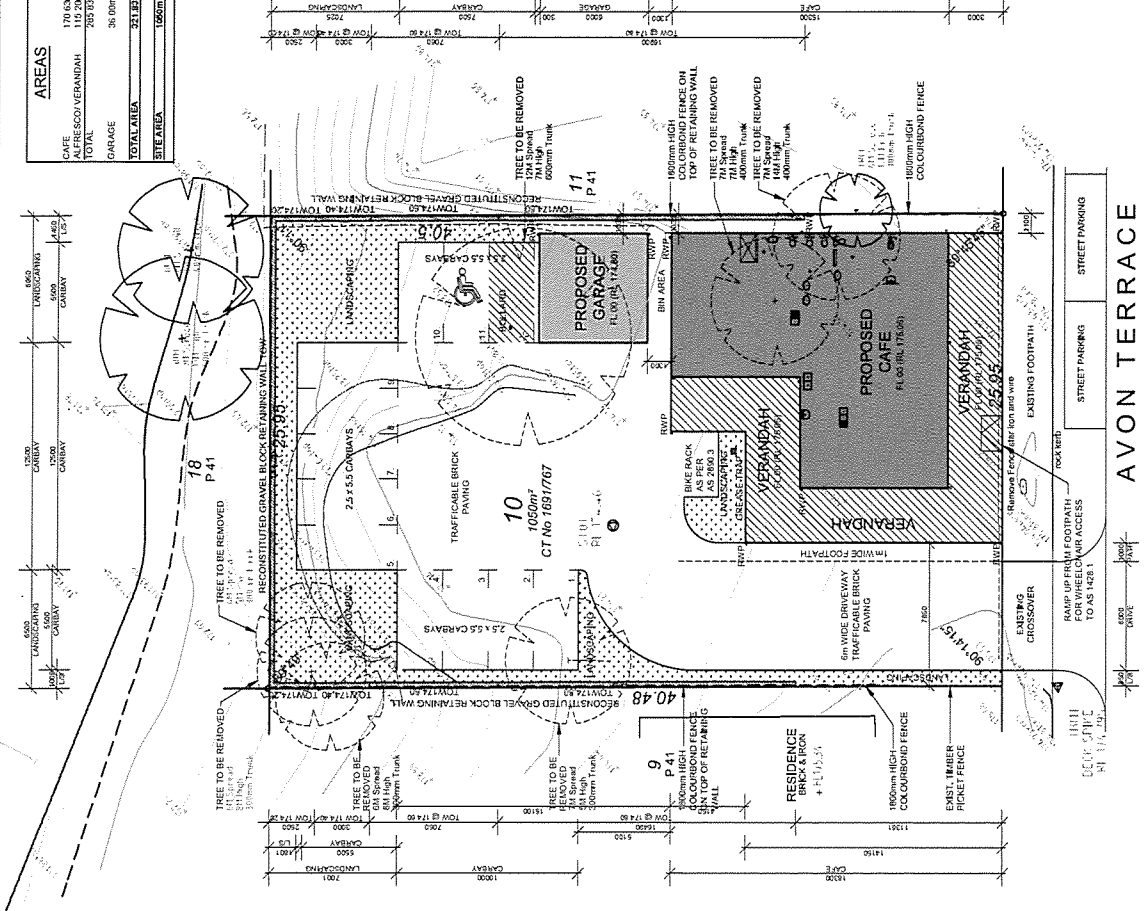
E2 ELEVATION (NORTH)

E4 ELEVATION (SOUTH)

SIGNAGE SIZE—900X1200MM

Red and green lettering with a black border on a white background.

AREAS	
CAFE	174.00m ²
ALFRESCO/VERANDAH	113.20m ²
TOTAL	287.20m ²
GARAGE	36.00m ²
TOTAL AREA	323.20m ²
SITE AREA	1560.00m ²



SITE PLAN

SCALE 1:200

Note : Heights are AHD and based on SSM PTH 305



**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK- CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

NO	DATE	SCALE	DESCRIPTION
01	17/02/16	1:1	Initial site plan
02	07/02/16	1:1	Revised site plan
03	15/02/17	1:1	Final site plan

DOMESTIC DRAFTING
25a Dorothy Street
Gosnell
Sydney, Australia
SCALE: 1:200
P.L. SURVEY 29771 1

AVON TERRACE

LEVEL & FEATURE SURVEY

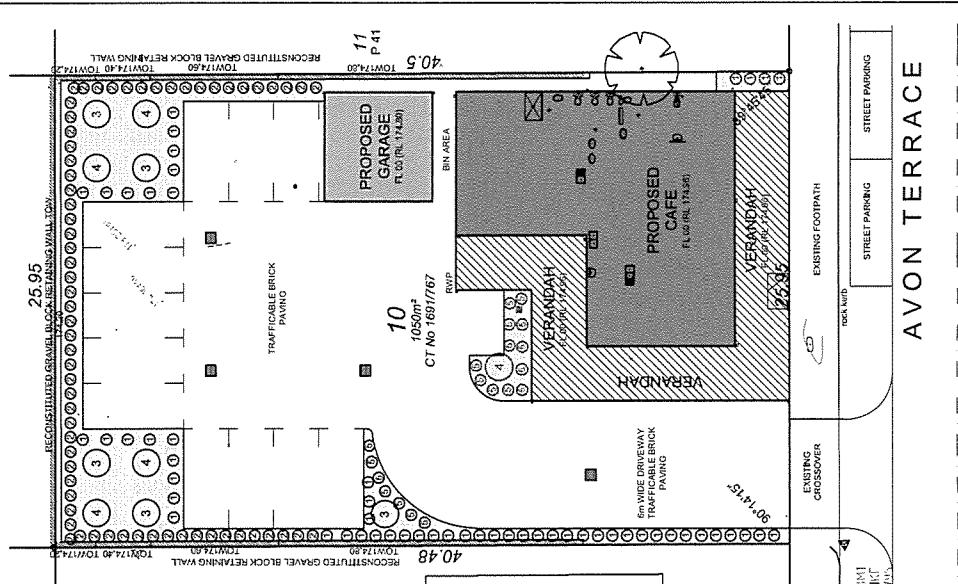
SCALE 1:200

Note : Heights are AHD and based on SSM PTH 305



LANDSCAPING LEGEND

No.	BOTANICAL NAME	COMMON NAME	DESCRIPTION	POT SIZE	QTY
1	Lavandula angustifolia	Lavender	Plant in 100mm x 150mm Pot, Purple, Utric. Hard to Shave above Fall	100mm	57
2	Rosa rugosa	Rose	Aromatic Rose, Pink, 1m tall, Utric. Similar to Rambler Rose	100mm	66
3	Clivia Linnon	Clivia	Evergreen Tree Producing Linnons	400	5
4	Mandarin	Mandarin	Evergreen Tree Producing Mandarins	400	5
5	Rosa Pringleana	Burnt Rose	Low Erect Deciduous Rose, with White to Cream Double Flowers	400mm	10
	Mulch	Jungle Mulch	A Rich Mixture of Composting Mulch required to a Depth of 100mm	100mm Thick	160m ²



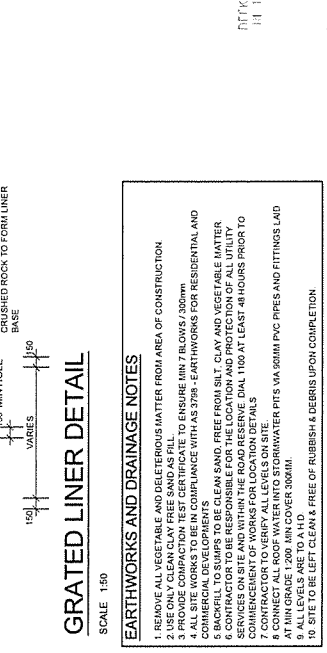
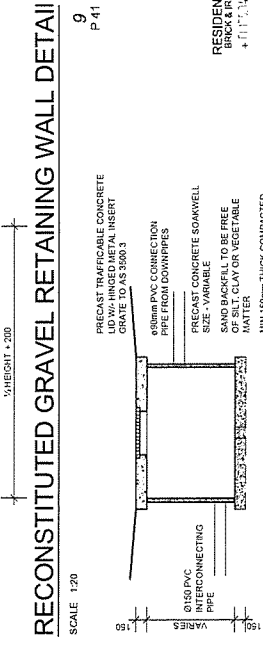
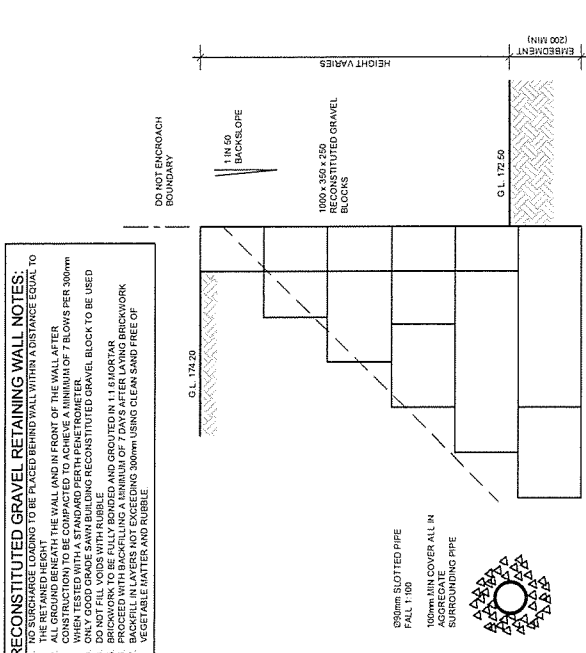
LANDSCAPE PLAN

SCALE 1:200

Note - Heights are AHD and based on SSM PTH 305

DATE	SCALE	REVISION	BY	CHKD	APP'D
17/07/24	1:200	1			
17/07/24	1:200	2			
18/07/24	1:200	3			

DOMESTIC DRAFTING SERVICE
25 Donnelly Street - Goswells VA 6100
SCALE 1:200
THE SITE 2977 2 / 4 DA2

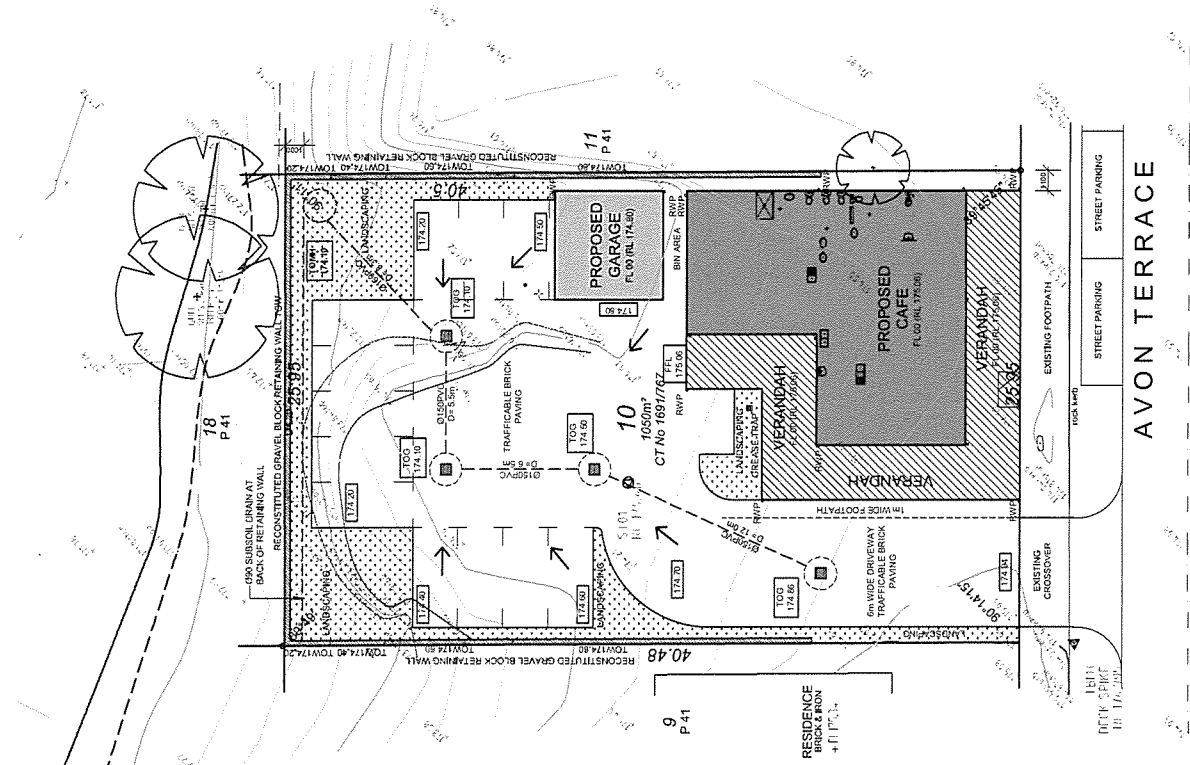


EARTHWORKS AND DRAINAGE NOTES

- REMOVE ALL VEGETABLE AND DELETERIOUS MATTER FROM AREA OF CONSTRUCTION.
- PROVIDE PROPER DRAINAGE TO PREVENT WATER FROM COLLECTING IN ANY DEPRESSIONS.
- PROVIDE COMPACTION TEST CERTIFICATE TO ENSURE BURY BLOWS / 300MM.
- ALL SITE WORKS TO BE IN COMPLIANCE WITH AS 3798 - EARTHWORKS FOR RESIDENTIAL AND COMMERCIAL DEVELOPMENTS.
- CONTRACTOR TO BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITY SERVICES ON SITE AND WITHIN THE ROAD RESERVE DIAL 1100 AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORKS FOR LOCATION DETAILS.
- CONNECT ALL ROOF WATER INTO STORMWATER PITS VIA 90MM PVC PIPES AND FITTINGS LAID AT MIN GRADE 1:200 MIN COVER 300MM.
- ALL LEVELS ARE TO AHD.
- SITE TO BE LEFT CLEAN & FREE OF RUBBISH & DEBRIS UPON COMPLETION.

LANDSCAPE AND RETICULATION NOTES:

- ALL LANDSCAPE BEDS ARE TO BE PREPARED WITH GOOD QUALITY LOAM.
- ALL PLANTS TO BE WATERED WITH SUB-SURFACE IRRIGATION VIA SUB-SURFACE DELIVERY SYSTEM TO THE BASE OF THE PLANT.
- THE LAWN AREAS TO BE IRRIGATED VIA A SUB-SURFACE SYSTEM INSTALLED PRIOR TO LAYING THE WEEKLY TIMER CONTROLLED RETICULATION SYSTEM TO BE SET TO AUTOMATICALLY WATER PLANTS AND LAWN AREAS AS PERMITTED BY WATER RESTRICTION TIMES AND DAYS.

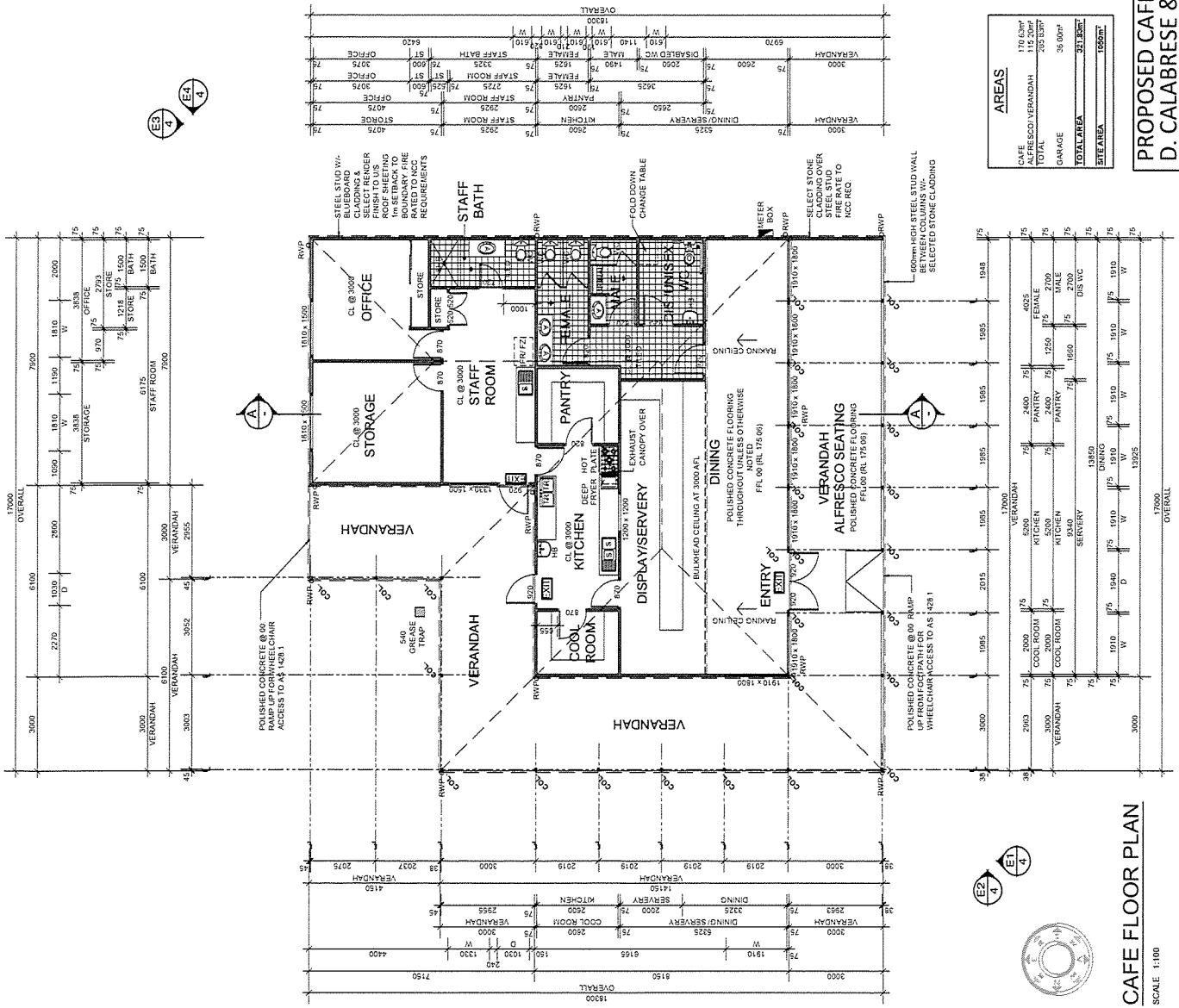


DRAINAGE PLAN

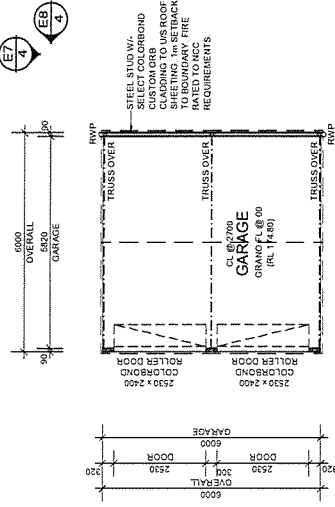
SCALE 1:200

Note - Heights are AHD and based on SSM PTH 305

CAUGHTMENT AREA	100mm	150mm
CAUGHTMENT AREA	100mm	150mm
CAUGHTMENT AREA	100mm	150mm
TOTAL CAUGHTMENT AREA	100mm	150mm
CAPACITY REQUIRED	668 x 0.0208 = 13.52m ³	668 x 0.0256 = 17.08m ³
DIAMETER	1500	1500
DEPTH	1.57	1.57
QTY	1	1
CAPACITY	18.25m ³	18.25m ³
TOTAL SITE CAPACITY	18.25m ³	18.25m ³



AREAS	
CAFE	170 SQM
VERANDAH	305 SQM
TOTAL	475 SQM
GARAGE	35 SQM
TOTAL AREA	510 SQM



GARAGE FLOOR PLAN
SCALE 1:100

NOTE:
EXTERNAL MATERIAL COLOURS/TIA COLOURS TO BE IN ACCORDANCE WITH THE SHIRE'S TOWN PLANNING SCHEME. REFER TO THE SHIRE'S WEBSITE FOR TIA PLACES.

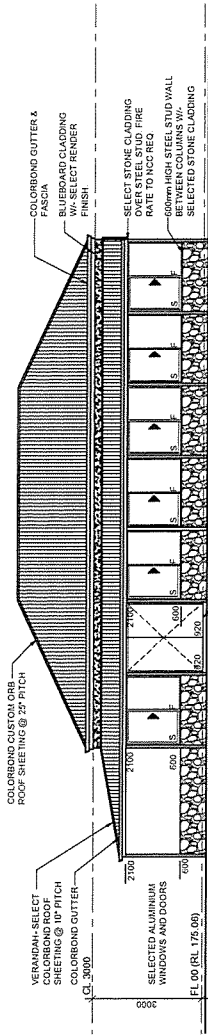
CAFE FLOOR PLAN
SCALE 1:100

**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK- CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

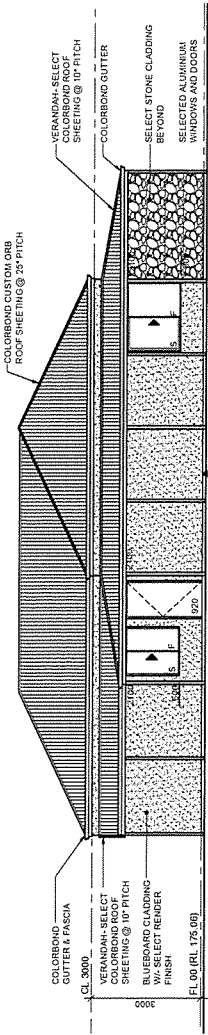
NO	DATE	CHECK	SCALE	BY
1	27/07/24	TL	1:100	CONWAY
2	05/02/24	TL	1:100	CONWAY
3	19/02/24	TL	1:100	CONWAY

DOMESTIC DRAFTING SERVICE
25 Dorothy Street Gosnell WA 6110
100 MANNINGHAM ROAD MANNINGHAM WA 6108
SCALE: 1:100 FILE PLAN 29771 3 14 DWG 1042

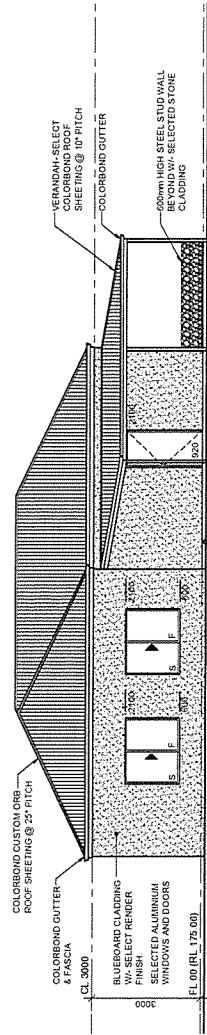
NOTE:
EXTERNAL MATERIAL COLOURS TO BE IN ACCORDANCE WITH THE APPLICABLE POLICY HERITAGE PRECINCTS AND PLACES



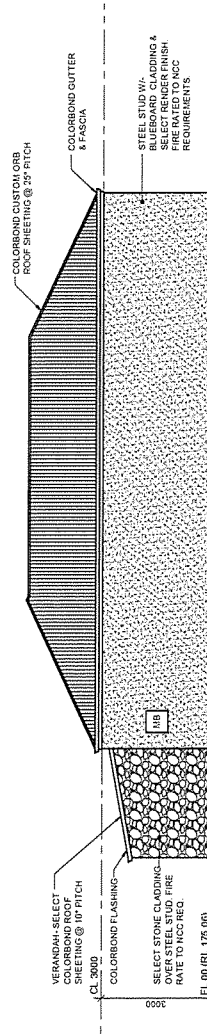
E1 FRONT ELEVATION (WEST)
SCALE 1:100



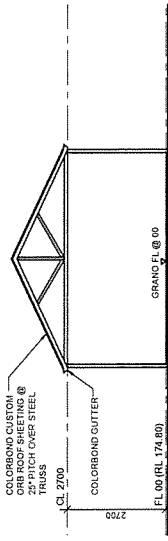
E2 ELEVATION (NORTH)
SCALE 1:100



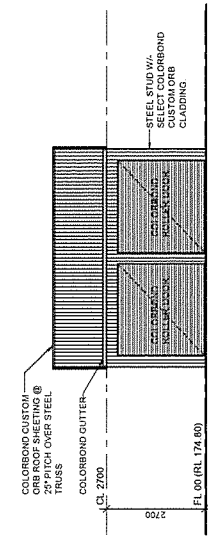
E3 ELEVATION (EAST)
SCALE 1:100



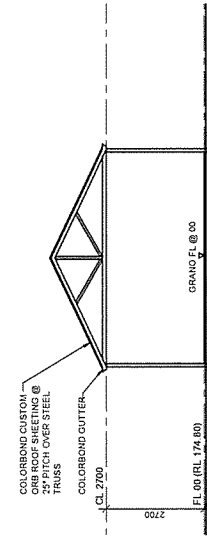
E4 ELEVATION (SOUTH)
SCALE 1:100



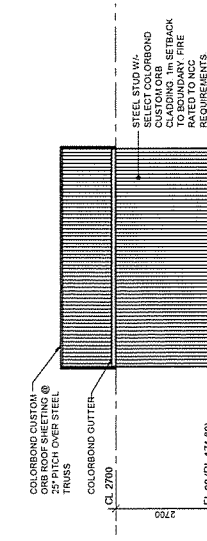
E5 ELEVATION (WEST)
SCALE 1:100



E6 ELEVATION (NORTH)
SCALE 1:100



E7 ELEVATION (EAST)
SCALE 1:100



E8 ELEVATION (SOUTH)
SCALE 1:100

**PROPOSED CAFE DEVELOPMENT FOR
D. CALABRESE & T. KOZAK-CALABRESE
LOT 10 #66 AVON TERRACE, YORK**

DRAWING NO.	DATE	PRICE	DESIGN	SCALE	NO.	BY	CHKD	DATE
20	27/07/14	L	SKL					
30	05/10/14	L	SKL					
40	20/02/17	L	SKL					

DOMESTIC DRAFTING SERVICE
25a Dorrity Street, Dorrity, VIC 3110
03 9588 1111
SCALE: 1:100
PAGE: 1
TITTLE PLAN: 2977
4 / 4
DA2

SCHEDULE OF SUBMISSIONS
P1064 – Proposed Restaurant: Lot 10 (Hse 66) Avon Tce, York

No.	Name	Summary of Submission	Officer's Comment
1.	Department of Water	<p>The area proposed for development (i.e. filling, building, etc.) is located outside of the floodway and is considered acceptable with respect to major flooding.</p> <p>The property is located within an area identified as affected by the Avon River Flood Fringe, where the 1% AEP flood will reach a level of approximately 174.6 m AHD. Based on our floodplain management strategy, a minimum habitable floor level of 0.5 m above the adjacent 1% AEP flood level is recommended to ensure adequate flood protection (i.e. 175.1 m AHD). The existing ground surface for the Lot is approximately 173 - 175 m AHD. The proposed café has a proposed Finished Floor Level of 175.06 m AHD. It is recommended to increase this to 175.1 m AHD. The proposed garage is not a habitable structure, and the proposed FFL of 174.8 m AHD is considered acceptable.</p>	<p>Noted.</p> <p>The application proposes a FFL of 15.06m, 4cm lower than recommended. The applicant has no objections to increase the finished floor level and will be conditioned on approval.</p>
2.	Department of Health	<p><u>Water Supply and Waste Water Disposal</u> The proposed development is required to connect to scheme water and reticulated sewerage in accordance with the draft Country Sewerage Policy</p> <p><u>Food Act Requirements</u> All food related aspects to comply with the provisions of the Food Act 2008 and related code, regulations and guidelines.</p>	<p>Development is required to connect to reticulated sewerage and water.</p> <p>An advice note will be included advising of food related requirements.</p>
3.	Heritage Council of Western Australia	<p>Proposed development has been referred for advice due to its proximity to the York Town Hall and is also located within the York Town Centre Heritage Precinct which is currently being assessed for entry into the State Heritage Register.</p> <p>The proposed development does not significantly impact on the identified cultural significance of the York Town Hall or York Town Centre Precinct.</p>	<p>No comments.</p>
4.	Heritage Advisor (Shire of York)	<p><u>Roof Form</u> Is not consistent with the dominant heritage roof form or scale of other single storey heritage buildings in proximity. The general form being hipped with break pitch skillion verandahs. The contemporary skillion roof with break pitch is more industrial in form and has a dominant height towards the street frontage.</p> <p><u>Parapet</u> The overall form presenting to the street frontage with the high roof ridge (parapet) is a blank vertical element and the continuum of steel framed windows above a dado across the front façade, which could further consideration as a result of amendments to the Roof form.</p> <p><u>Verandah</u> The bullnose verandah is inconsistent with the main roof design and form. A contemporary version of a bullnose or curved verandah would be more appropriate, although a skillion is more response to the roof form and proximity.</p> <p><u>Roof Materials</u> Roof materials and roof plumbing are referred to as Zinalume grey sheeting. Zinalume is not preferred in the Central York Precinct, particularly in proximity to the York Town Hall. Grey colour steel sheeting is less reflecting, or galvanised sheeting is an acceptable option. Colorbond in an appropriate colour is supported. The proposed zinalume walls and roof of the garage are not supported.</p> <p><u>Colours</u> Beyond the roof cladding, colours have not been specified. A colour palette for the entire proposal should be required.</p> <p><u>Signage</u> The proposed signage is not discrete, but may be reconsidered as a result of the above comments.</p>	<p>The comments provided are based on the development plans originally submitted in Appendix B. A copy of the concerns regarding the external appearance were conveyed to the applicant and amended plans submitted in response (Appendix C) which the subject of assessment within the council report.</p> <p>The Heritage Advisor has provided support for the amended plans in Appendix C, which have either addressed concerns listed, or will be addressed via a condition of approval, as outlined in more detail in the Council Report.</p>

