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## HERITAGE PRECINCTS & PLACES

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| <b>Policy Owner:</b>       | Planning Department                           |
| <b>Person Responsible:</b> | Manager Planning                              |
| <b>Date of Origin:</b>     |   |
| <b>Endorsed:</b>           | 15 September 1997                             |
|                            | 21 August 2006 – Council Resolution 190806    |
|                            | 22 September 2008 – Council Resolution 170908 |
|                            | 17 August 2009 – Council Resolution 040809    |
| <b>Amended:</b>            | 17 August 2009 – Council Resolution 040809    |
| <b>Version:</b>            | 1   |

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## INTRODUCTION

This Policy has been adopted under the powers established by Clause 8.8 of the Shire of York Town Planning Scheme No. 2. In exercising discretion under this policy the Shire shall have due regard to the heritage provisions included in Clauses 2.3.8 and 2.3.9 of the adopted Shire of York Local Planning Strategy (August 2007). The Shire will have due regard for the State Planning Policy 3.5 “Historic Heritage Conservation” by the Western Australian Planning Commission.

This Local Planning Policy for the Shire of York highlights the importance of Heritage Precincts and Places as part of the amenity of the Shire’s built environment.

There are two Heritage Precincts in the townsite - Blandstown and Central York. The boundaries of the previous Heritage Precincts have been rationalised to allow for more efficient land use and development management. The Municipal Inventory has been updated to concentrate on both defined localities and individual sites. (See **Appendices A and B.**)

The two distinctive Precincts or Areas are Central York and Blandstown which have special qualities that are highly valued by the community and it is important to retain and enhance those qualities of appropriate sites as the town develops through time.

York was declared an Historic Town by the National Trust of Australia (WA) in 1980. It still has much of the charm and character of an early colonial settlement, and retains a significant legacy of buildings of historic and architectural value from the 19<sup>th</sup> and early 20<sup>th</sup> centuries.

This policy is intended to assist property owners and the Shire of York to achieve good development outcomes in an important heritage context. It will also provide understanding of the new qualities of heritage values and ensure that additions or alterations to existing buildings and new developments do not diminish the overall context and character of the area.

The first parts of the Policy outline the statutory status of this Policy which provides for strong development control measures under current Planning legislation.

The Overview provides some background of the historical nature of the Heritage Precincts and Places and the studies of Blandstown already undertaken.

The latter parts of the Policy deal with the guidelines and direction for improvements to existing places and for new developments in the precincts.

Guidelines for heritage impact statements associated with development applications are found in **Appendix F** – taken from the model provided by the Heritage Council of Western Australia. The Council of the Shire of York will require detailed information with every application, and will assess such applications in the terms prescribed. Advice will be sought from the Regional Heritage Advisor or Heritage Council on any matter considered necessary.

Council is grateful for the guidance and assistance from the Heritage Council in formulating this Policy.

**Local Planning Policy**  
**Heritage Precincts and Places**

**1.0 STRUCTURE OF POLICY**

The Local Planning Policy has been structured in a way that provides general guidelines to be observed in all designated Heritage Precincts, guidelines for specific issues such as signage and then policy provisions for residential and commercial development within the Central York and Blandstown Precincts. The format is as follows:

**1.1 Structure Outline**

**Part 1 Overview**

**Part 2 General Guidelines** - Policy Guidelines for all development within the Heritage Precincts.

**Part 3 Residential Development** - Policy Guidelines for all residential development within the Heritage Precincts and to Heritage Places.

**Part 4 Commercial Development** - Policy Guidelines for all commercial development within the Central York Precinct. Mixed use development must have regard to the policies contained in Part 3.

**Part 5 Signage** - Policy Guidelines for signage within the Central York and Blandstown Precincts.

**Appendix A** contains a list of places and precincts included in the Shire of York's Municipal Heritage Inventory.

The extent of the Central York and Blandstown Heritage Precincts are shown on the map provided in **Appendix B**.

The levels of contribution that the individual places make to the overall heritage significance and character of the Central York and Blandstown Heritage Precincts are detailed in **Appendices C and D**.

While there is no statutory basis for controlling the landscaping and garden settings for residential development in the Blandstown Heritage Area, general guidelines are provided in **Appendix E** for interested persons.

**1.2 Contribution of Existing Places to the Heritage Precincts**

The level of contribution that a place makes to the significance of an area is one of the matters considered in determining an application. All places within the Central York and the Blandstown Precincts have been classified as falling into one of the following categories:

| <b>Level of Contribution</b> | <b>Description</b>   | <b>Desired Outcome</b>   |
|------------------------------|--|--|
| <b>Considerable</b>          | Listed in the State Register of Heritage Places. Very important to the significance of the Precinct. | Conservation of the place is highly desirable. There is a presumption against demolition. Any external alterations or extensions should reinforce the significance of the Precinct in accordance with the Design Guidelines. |
| <b>Some / Moderate</b>       | Contributes to the significance of the Precinct.   | Conservation of the place is desirable. There is a presumption against demolition. Any external alterations or extensions should reinforce the significance of the Precinct in accordance with the Design Guidelines.        |
| <b>None</b>                  | Does not contribute to the significance of the Precinct.   | Existing fabric does not need to be retained. Any new (replacement) development on the site should reinforce the significance of the Precinct, in accordance with the Design Guidelines.                                     |

The level of contribution a place makes to the Central York or to the Blandstown Precinct is detailed in **Appendices C and D (which are still being determined)**.

## 1.3 STATEMENTS OF SIGNIFICANCE

York was declared a Historic Town by the National Trust of Australia (WA) in 1980. It still has much of the charm and character of an early colonial settlement, and retains a significant legacy of buildings of historic and architectural value from the 19th and early 20th centuries.

Central York and Blandstown Precincts comprise areas east of the railway line with an extension over the Avon River. The majority of the of the area excluding the special precincts, presents a predominantly single storey residential setting of similar scale, materials, roof forms and the site application, with a varying degree of heritage significance.

The cumulative effect of the scale, massing, texture, materials, colour and detail of individual buildings and their sites provide visual characteristics which have formed in distinctive periods from the early town establishment in the 1860s and 1870s, through to the twentieth century, clearly demonstrating the residential aesthetics of the periods.

### 1.3.1 Blandstown Precinct

*Blandstown Village Heritage Precinct, comprising approximately thirty-seven buildings constructed from local materials, two bridges, Bland's Brook, a section of Avon River and a street layout that dates from the end of the nineteenth century has cultural heritage significance for the following reasons:-*

*6 The place exhibits aesthetic qualities that are highly valued by the community.*

- *The place demonstrated the development of an early colonial settlement dating from the 1850s which has retained a high degree of intactness and authenticity.*
- *The place has the potential to yield archaeological and documentary information that will contribute to an understanding of the natural and cultural heritage of Western Australia, particularly in relation to early farming practices and the relationship between the farm and the broader rural community.*
- *The place has retained some of York's earliest buildings which are associated with the commercial success of this early inland town.*

- *The place is associated with Revett Henry Bland, Governor Stirling's appointee to the district and the owner of the land which developed as Blandstown, the Parker family who were prominent landowners in York and who owned Balladong Farm, and the Convict Hiring Depot which was constructed on the eastern side of the Avon River in 1852.*

### 1.3.2 Central York Precinct

The Central York Precinct mainly comprises single storey residential and commercial buildings as well as a number of substantial two storey commercial buildings. A feature of the precinct is an almost uninterrupted continuum of late 19<sup>th</sup> and early 20<sup>th</sup> buildings along both sides of Avon Terrace between Macartney and South Streets.

This area presents an collection of places of varying degrees of significance and is culturally important as a whole for the following reasons:

It physically reflects broad social and economic changes from the mid-nineteenth century and has the potential to contribute significantly to an understanding of the development of York.

The cumulative effect of the scale, massing, texture, materials, colour, and detail of individual buildings and their sites provide visual characteristics which have formed in distinctive periods from early town establishment in the 1860's and 1870's, the boom period of the 1890's Federation style, the twentieth century developments of the early 1900's and the prosperous surge in the late 1930's and later decades. The buildings clearly demonstrate the aesthetics of these periods.

The collective and individual landmark qualities of the buildings;

The continuity of commercial, residential, and cultural functions which operate without detracting from the overall integrity of the precinct and which contribute substantially to the character of the area; and

The precinct contributes to the York community's sense of place through its distinctive streetscape.

### 1.4 WHY ARE THE CENTRAL YORK AND BLANDSTOWN PRECINCTS IMPORTANT?

The substantial representation of Victorian/Colonial and Federation residential, commercial and civic buildings within the Central York and Blandstown Precinct provides a significant historic environment that informs of the foundation to the background of the town.

Historic character can be devalued and compromised by unsympathetic or non-responsive new development, including additions to existing buildings. Placing new buildings and additions in an historic context requires careful analysis to identify the important elements of the overall heritage character that must be respected.

The character of an area is influenced by a number of contributing factors including:

- ⦿ landform;
- ⦿ distinctive landscape elements;
- ⦿ the pattern of subdivision;
- ⦿ date and style of buildings;
- ⦿ scale and form of buildings;
- ⦿ building setbacks;
- ⦿ materials, building techniques and details;
- ⦿ views, vistas and skylines; and
- ⦿ the use mix and activities.

Developments that appear most out of character share similar design attributes. This includes buildings that are too large in scale (both height and mass), are “box-like” in appearance, lack sufficient surface articulation, and/or are presented in strong or garish colours that are out of place with their surroundings. It is these characteristics that should be discouraged in future developments.

Character is also shaped by the relationship between the proportion of solid to void in walls, or the amount of window contained by a wall, together with the play of light, shadows, and the proportion of openings in walls.

The Local Planning Policy for the Central York and Blandstown Precincts is based on the primary elements that comprise the character of an area – scale or size, form, siting, materials and colours, and detailing. Examples are also provided of existing harmonious or sympathetic developments that respond to these primary elements in an acceptable manner.

## **2.0 GENERAL GUIDELINES**

### **2.1 EXTENT OF APPLICATION**

These guidelines shall apply to all development, including new development applications and the extension, alteration, addition, modification or demolition of existing buildings. The guidelines may be different for each of the defined Precincts.

### **2.2 GENERAL POLICY OBJECTIVES**

- a) To conserve and protect the cultural heritage significance of the Precincts and Places;
- b) To ensure that new buildings and modifications to existing buildings can be accommodated within the Precincts without adversely affecting the heritage significance and character of the area; and,
- c) To provide improved certainty to landowners and the community about the planning processes for development within the areas.

## 2.3 DEFINITIONS

**'Heritage Place'** shall mean any place contained on the State Register of Heritage Places, the Shire of York Municipal Inventory of Heritage Places, any Heritage List adopted under a Town Planning Scheme or contained in **Appendix G** of this Local Planning Policy.

**'Town Planning Scheme'** shall mean any operative Town Planning Scheme within the Shire of York. All other terms shall have the meanings applied to them under the Shire's Town Planning `Schemes and the definitions included in **Appendix G** to the Local Planning Policy.

## 2.4 POLICY GUIDELINES

The policy includes commentary notes in the shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

### 2.4.1 Principles of Development

All applications within the Precincts shall have regard to and respect the following principles of development:

- a) All development shall enhance and reinforce the historic character of the Precincts;
- b) All new buildings in Precincts shall respect their historic context and respond to the existing character, scale, form, siting, material and colours in accordance with the provisions of the Burra Charter;
- c) New buildings shall not be direct copies of heritage buildings and should be visually distinguishable from them. It is important to distinguish between heritage and new places so that heritage values are not diminished by replication;
- d) Buildings should be sited to respect the existing pattern of development in the Precincts, with buildings set squarely on lots and front and side setbacks which mirror the scale of the streets providing that the location takes into consideration energy efficiency standards and requirements under the Building Code of Australia.
- e) Heritage buildings shall be retained and conserved wherever possible, as these places, in combination with the streetscape, are the main determinants of the character of the Precinct;
- f) New construction, demolition, intrusions or other changes that would adversely affect the setting or relationships within the Precinct are not appropriate;
- g) Historic outbuildings such as stables and sheds often form an integral part of the heritage landscape and should be conserved where practicable;

- h) Additions to Heritage Places must ensure that they do not visually intrude on the existing building or street context and that they are in sympathy with the character of the existing property. Additions should be distinguishable from the original building and the distinction may be subtle if desired.

### 2.4.2 New Development

Compliance with Local Planning Policy:

1. All applications for development, including new development or the alteration, extension, modification or demolition of existing buildings within the Precincts shall comply with this Local Planning Policy.
2. In considering any development applications located within the Precincts, the Shire will consider the structural condition of a contributory place, whether a place is reasonably capable of conservation and the level of contribution a place makes to the significance of an area. The level of contribution for places within the Central York and Blandstown Heritage Precincts is detailed in **Appendices C and D** to the Local Planning Policy.
3. Except as provided for in the Local Planning Policy – Blandstown Precinct, the requirements of the Residential Design Codes shall apply to all residential development.
4. The Council may vary the requirements of this Local Planning Policy, where it is considered that full compliance with the policy is impractical or such variation is warranted in the circumstances of the case.

### 2.4.3 Demolition of Heritage Places or in a Heritage Precinct

Demolition of a place listed on the State Register of Heritage Places is rarely appropriate and is not likely to be supported by Council. Applications for demolition of a place on the State Register will be referred to the Heritage Council of Western Australia for comment prior to Council's determination.

Demolition of a Heritage Place should be avoided wherever possible. An application to demolish a heritage place must include clear justifications for the demolition and should be based upon the following:

- a) The significance of the building or place;
- b) The feasibility of restoring or adapting it or incorporating it into new development;
- c) The extent to which the community would benefit from the proposed development; and
- d) The provisions of this Local Planning Policy.

Council is unlikely to support the demolition of a heritage place based solely on the economic viability of redeveloping a site or because a building has been neglected.

If structural failure is cited as the primary justification for the demolition of a heritage place, evidence must be provided from a registered structural engineer that the structural integrity of the building has failed to the point where it cannot be rectified without removal of a majority of its significant fabric and/or prohibitive costs.

Where Council supports the demolition of a heritage place, the applicant may be required, as a condition of approval, to submit an archival record of the place prior to the demolition occurring.

The archival record is to be in accordance with the Council's standards for archival. **(Appendix H)**

### 2.5 APPLICATION REQUIREMENTS

When making an application for planning approval or seeking approval for demolition of a building, the Council may seek additional information other than that required under the provisions of the relevant Town Planning Scheme. Such additional information may include:

a) A Heritage Impact Statement.

An applicant may be required to complete an impact assessment on any new development proposal or demolition permit as part of any formal application Council. **(Appendix F)**

If a proposal will have a substantial impact on the exterior fabric of a place, the Shire may require a heritage impact statement to be submitted, which would address three main questions:

- ⌚ how will the proposed works affect the significance of the place or area?
- ⌚ what alternatives have been considered to ameliorate any adverse impacts?
- ⌚ will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

If a proposal affects a place that is entered in the State Register of Heritage Places it will be referred to the Heritage Council of Western Australia for comment.

b) A Structural Condition Assessment in the Case of Demolition.

The Council retains the right to seek any independent advice, including the comments of the Heritage Council of Western Australia or their Regional Heritage Advisor, on development proposals or applications for demolition. The Council also retains the right of passing on the costs of obtaining such advice to the applicant.

### 2.6 DEVELOPMENT OF BUILDINGS ON THE STATE REGISTER OF HERITAGE PLACES

Any new development of a building on the State Register of Heritage Places may be discussed and negotiated with the Heritage Council of Western Australia and Shire of York prior to the submission of a development application.

Development proposals affecting places on the State Register must be referred by the Shire of York to the Heritage Council for advice as per the *Heritage of Western Australia Act 1990*.

## 3.0 RESIDENTIAL DEVELOPMENT

### 3.1 EXTENT OF APPLICATION

These Policy Guidelines shall apply to all residential development within the Central York and Blandstown Precincts. Residential development shall include new buildings and the extension, alteration, addition or modification of existing buildings. Where the residential development occurs on the same site as a commercial building or with some other form of mixed use development, the Policy Guidelines shall be given due consideration.

All residential development within the Precincts is required to comply with the Residential Design Codes. Where there is inconsistency between the Residential Design Codes and the provisions of this Policy and the Scheme, the Scheme and Policy shall prevail.

### 3.2 POLICY OBJECTIVES

- a) To facilitate residential development that respects the existing character of an area;
- b) To ensure that all new residential buildings, alterations or extensions to existing dwellings are sympathetic to the predominant form, siting and appearance of existing and neighbouring buildings and the streetscape;
- c) To maintain the heritage value of significant buildings and streetscapes.

### 3.3 POLICY DEFINITIONS

All terms shall have the meanings applied to them under the Shire's Town Planning Schemes and the definitions included in **Appendix G** to the Local Planning Policy.

### 3.4 POLICY GUIDELINES

The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

#### 3.4.1 Scale and Size

The scale of a building is its size in relation to its context, either as part of an existing house, existing neighbouring buildings or landscape, or a combination of these. The resulting development proposal should look as if it belongs to the area in terms of scale. Scale is one of the prime determinants of an area's character, and if scale is not correctly determined, there is little prospect of correcting the negative impact of an out-of-scale development. The use of tree and shrub plantings to hide over-scale buildings is rarely successful and should not be relied upon as a correction tool.

Most dwellings in the Precincts are single storey. The pattern of arrangement and size of buildings in Blandstown & Central York is an important part of its character and this varies little from street to street. The street layout and subdivision pattern provide a strong influence in scale through the width of streets and the frontage of blocks to those streets.

Further subdivision can alter this aspect of scale and for this reason, any applications for subdivision within the Precincts will be carefully scrutinised by the Shire prior to any recommendation made to the Western Australian Planning Commission.

The size of additions or extensions to existing buildings is also important and must comply with the same principles. Additions should not be more imposing than the original building. For verandah restorations, look for evidence of what may have been removed before planning a replacement and in the absence of evidence, ensure that the design approach matches the style for the period of construction of the place.

The scale of all residential development must respect:

- a) The scale of adjoining and nearby buildings in the street;
- b) The surrounding landscape; and
- c) The scale of the existing building, in the case of additions, extensions or modifications.

**Note:** The current Residential Planning Design Codes over Blandstown is R40, where sewer is available, other lots are zoned R10/General Agriculture, which are under review. Development at this scale is considered excessive and to meet the design criteria and the objectives development should be favoured at R40.

Two storey buildings will only be supported on lots of a size consistent with the R40 density code or higher.

On lots less than the R40 density, residential development shall maintain the appearance of a predominantly single storey streetscape. Two storey buildings may be considered on lots of a size less than the R40 density code where:

- a) the additional storey is situated under the natural ground level at the street, due to the slope of the land and without the need for substantial cut and fill;
- b) Where the bulk of the second storey is situated towards the rear of the building, or
- c) Where there is evidence that the below ground storey is demonstrated to be protected from inundation.

Other architectural design techniques, such as the breaking up of long walls into bays, the arrangement of openings and fragmenting

roof forms, should be considered to reduce the scale of larger buildings.

All development must be sympathetic to the existing land contours and natural features. No more than 500mm of cut or fill may be permitted as part of any residential development, unless such cut or fill is to match the height and scale of an existing building. Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development occurring warrant higher retaining walls. No filling shall be permitted on the Avon River flood plain.

A minimum 15 degree roof pitch is required on all new verandahs. The addition of a verandah to an existing building shall either continue the same roof pitch of the existing building or change the pitch, provided that a minimum 15 degree roof pitch is achieved.

### 3.4.2 Form

The form of the building is its overall shape, size and the general arrangement of its main parts. Traditionally, residences in the Precincts have been simple and rectangular, with steeply pitched roofs. Although other features can be disguised or concealed, roof lines will remain prominent, especially on a hillside.

Residential development in Central York and Blandstown Precinct should be sympathetic to the predominant form of the neighbouring dwellings and existing building, in the case of additions and modifications. Where a building form is highly repetitive, such as in the smaller scale streets of the Blandstown Precinct, significant departures in form will appear at variance to the streetscape. New buildings in highly cohesive streetscapes should not interrupt that cohesiveness of form.

The treatment of the façade in terms of the proportions, materials, number of openings, ratio of window to wall etc. will also affect how a new building relates to its neighbours and how an addition relates to an existing building. Symmetrical facades with doors into central corridors are commonly used in the Blandstown Precinct and this motif could be used for new buildings.

All residential development shall respond to and reinforce the existing characteristics of a streetscape or neighbourhood with regard to building appearance, plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.

Roof lines shall be hipped or gabled and shall have a minimum slope of 25 degrees. Eave overhangs shall be a minimum of 300mm wide. A skillion roof as an extension of an original roof form may be acceptable.

All window and door openings shall have a vertical emphasis, which means they shall be long and narrow in appearance.

Additions, extensions and modifications to existing buildings shall not be more visually imposing than the original building. Front facades should not be extended forward of the existing building.

Additions, extensions or modifications shall respect and integrate with the roof line of an existing building.

Two storey extensions to an existing building should be set well back towards the rear of the property to minimise the visual impact on the streetscape or could be accommodated within the existing roof space.

No structural development shall be allowed within the designated Flood Plain of the Avon River as determined by the Department of Water.

Council shall set the minimum floor levels in the areas within the 100 year flood event limit in consultation with the Department of Water to take into account the likelihood of inundation, the streetscape, accessibility and other factors.

### 3.4.3 Siting

Another critical factor that influences character is building siting in relation to boundaries and, in particular, front setbacks from the street. When new buildings are developed in an historic context, they should be sympathetic to the local streetscape and the predominant front and side setbacks of the streetscape should be maintained. The adjoining properties in a streetscape provide the best guide as to the correct approach for the siting of new buildings. Obviously the siting, size and construction of front fences is also important and this subject is addressed later in the guidelines.

Importantly, buildings in Blandstown are set parallel to the street and are oriented to the street frontage. In other words, the principal elevation and entrance to a building faces the street. New buildings should be oriented in the same manner. Front setback patterns, where they exist, should be repeated, irrespective of the prevailing residential density code provisions. Usually houses on smaller lots in narrow streets have small front setbacks and houses on larger lots in wider streets have greater front setbacks.

Most of Blandstown historic development was completed before the motor vehicle came into common usage. Garages and carports in York could become a dominant and negative feature in the streetscape.

Additions to existing properties should also respect the pattern of siting and be located so as to avoid giving them undue prominence.

Consideration must be given to Federal and State objectives for energy efficiency in relation to siting.

For new residential development and additions, extensions or modifications to existing residential dwellings shall be located parallel to the street and shall observe any established front and side building setbacks of the neighbouring properties in the street.

Entries to a dwelling shall be at the front of the dwelling or be an obvious feature when viewed from the street. Entries which are central to a facade are encouraged. A blank wall facing the street is unacceptable.

All garages and carports shall be designed to have a minimal visual impact on the streetscape. Where side or rear access is available, vehicular access should be provided from these points and parking area, including garages and carports, located accordingly.

Garages and carports located in front of the building line of an existing dwelling will only be permitted if it cannot be located on any other part of the property. Garages and carports located in front of the building line must not obscure the front elevation of a building and their width shall not exceed 30% of the frontage of the property.

Car parking areas in new residential development should be incorporated into the design of a new house and should be setback from the primary street in line with or behind the building line of the proposed dwelling.

Note: The policy requirements relate to the location of parking area. Further requirements on the design and appearance of garages and carports are included in the Materials and Colours section.

### 3.4.4 Materials and Colours

Residential buildings in the Precincts use a variety of materials, which relate to the historic phases of development of the town. These materials, textures, colours and decorative treatments are important elements of character and significance.

Residential development, including garages, carports and outbuildings, should use materials, textures and colours that are characteristic in the adjacent buildings and the local area generally.

While it is not necessary or desirable to copy the existing patterns in every detail, the use of similar materials and colours assists with developing harmony in the streetscape. Modern materials are not precluded, providing their proportions, textures, details and colours are sympathetic with the surrounding context and are not in sharp contrast. The quality of new materials should be equal with those of existing buildings.

When restoring or repairing important historic places, replacement materials should match like-with-like where possible. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. Rendering or painting existing brick in older buildings will cause the brickwork to deteriorate and is a poor maintenance strategy.

Although weatherboard buildings are comparatively rare in the Precincts, new timber framed buildings are permitted. When restoring timber framed houses, new materials should match the original. Timber framed extensions are also permitted for brick buildings.

Traditional colour schemes in the Precincts feature several colours in combination. Rendered walls have been left unpainted or are natural tones of cream or stone. Window and door frames are a combination of dark and light colours, which generally contrast the base colour of material of the external walls.

The acceptable materials for new residential buildings, including outbuildings, garages and carports and additions, retaining walls, extensions or modifications to existing buildings are as follows:

a) Walls

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated iron or mini orb profile walls in a galvanised, painted or Colourbond finish are appropriate for side and rear walls, outbuildings, carports and garages.
- Use of limestone materials in retaining walls will not be permitted unless it is consistent with existing development.

b) Windows and doors

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Timber to match the existing materials being replaced or the period of development for residential places being restored.
- Small paned windows are encouraged in street elevations, if appropriate to the location of the development.

c) Roofs

- Custom Orb profile sheeting. Preferred sheeting is galvanised, although Zinalume or Colourbond in an appropriate colour is acceptable.
- Galvanised sheeting is generally required for buildings listed in the State Register of Heritage Places.
- Clay tiles, if appropriate to the location.

d) Gutters

- Half round galvanised gutters for places pre-1890.
- Ogee and colonial profile or quad for heritage places.

- Quad or half round for new places.

The colours to be used in all residential development will have regard to the following criteria:

- a) The colours used in an existing building and in neighbouring properties in the streetscape;
- b) Colours selected from heritage ranges will be acceptable. Guidance may be taken from the colour palette available for viewing at the Shire of York offices;
- c) For new buildings, sympathetic modern colours may be acceptable;
- d) Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate; and
- e) The use of bright or garish colours in large areas visible from the street is not permitted.

The colours to be used in heritage places, including places on the State Register of Heritage Places, the Shire of York Municipal Inventory of Heritage Places or any Heritage List of a Town Planning Scheme, should be based on the original colours used in the building based on paint scraping where possible.

Garages and carports shall be designed to have a minimal impact on the streetscape and shall be constructed to consider the following:

- a) The garage or carport should be built to reflect the style of the existing or proposed house, but not be so elaborately detailed as to detract from the house. The design should be sympathetic to the style of the house without copying the detailing used on the existing or proposed house;
- b) Roof form, materials and pitch should be the same as the existing house. Walls and/or piers should match existing brickwork or render as closely as possible;
- c) Timber posts used in a carport should respond to the style of the verandah posts on the house. Timber decoration may be used to relate the new structure to the existing or proposed house, but should not make the garage or carport more important than the house;
- d) The materials and colours of garage doors should not detract from the heritage character of the Blandstown Precinct; and
- e) Where the side wall of a garage faces a street it shall be designed and treated in such a manner that it presents an articulated and detailed facade to the street. Eaves of a minimum 300mm shall be provided.

### 3.4.5 Detailing

Similar and common details in residential development also assist in creating character. There was a fairly common approach to detailing in various periods of development. There are similarities in the approach to chimneys, verandahs, doors and windows. Modern buildings are generally more simply designed than buildings in the

historic context. This difference in approach to detailing in modern buildings can disrupt the harmony of a historic streetscape.

Using a sympathetic approach to the design and detailing of residential development can help create relationships between the new and old. Modern design features can reinterpret traditional details and contemporary detailing can provide visual interest that contributes to the character of the place.

Many residential buildings in the area have or have had front verandahs. Restoring a verandah to its original form can add significantly to the value of the building and enhance the streetscape. Verandah details, such as timber fretwork, iron lacework and turned posts, provide important elements of decoration on traditional buildings.

Other decorative elements include gables, lead lights and rendered corbelling on chimneys. Early York homes are characterised by tall brick chimneys with decorative corbelling (brick protrusions near the top of the chimney, commonly with decorative render).

The proportions and shapes of windows and doors give traditional Blandstown Precinct buildings a vertical emphasis. Their positions and relative size on a building façade are important components of the streetscape. The styles of windows and doors vary according to the date of construction however their position, proportions and shape remain relatively constant.

Decorative detailing should be used sparingly on new residential development and additions, extensions and modifications to existing buildings. New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate for the date of construction of the building.

New chimneys shall be tall, extending beyond the maximum height of the roof at any point.

The style of a replacement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary evidence regarding the original verandah, a simple replacement verandah without elaborate decoration shall be used. Reinstatement of missing decorative detailing on existing buildings is encouraged.

The original door or window openings on an existing building are to be maintained. Where a door or window needs replacing, it is preferable to use a copy of the original.

Windows and doors in new buildings should not be copies of traditional styles. Where windows are visible from the street, they shall be simple timber-framed or commercial quality, box, powder coated aluminium-framed windows giving the appearance of timber framing, with proportions reflecting traditional openings. Some details may be adapted to allow buildings to harmonise with the traditional streetscape, such as using a slight arch of vertical brickwork over the window.

### 3.4.6 Setting

The treatment of front setback area to primary and secondary streets has a significant impact on streetscape. Fences and gates in the Precincts generally reflect the rural atmosphere of the town and few existing houses in the area have substantial front fences.

Traditional driveways and paths in the Blandstown Precinct were of local gravel or red clay. Front gardens are an important part streetscape and remnants of traditional gardens can be as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that, where possible, these be conserved and ideally, new gardens would be designed to integrate with them.

While the policy does not provide controls on the materials used in driveways and paths or the nature of residential gardens, some general guidelines are contained in Appendix E for interested persons.

Fences and gates associated with residential development shall be consistent with the following requirements:

- a) For existing houses or properties, fencing and gates shall match the period of development. Local stone, timber picket, picket and red brick or local stone pier, or timber post and rail with chain mesh may be appropriate. Hedges may be appropriate as an alternative to fencing.
- b) Fibre cement sheeting or steel, iron or colourbond sheeting as a fencing material shall be avoided on any street frontage in front of the building line;
- c) Fibre cement sheeting or steel, iron or colourbond sheeting may be used to fence back yards if its visual impact from the street will be limited;
- d) Limestone fencing is not permitted in the Precincts;
- e) Front fencing shall be open in style to allow views to and from the house;
- f) Solid fencing on front boundaries and on side boundaries in front of the building line shall not exceed a height of 1200mm;
- g) Any fencing on front and side boundaries in front of the building line over 750mm shall be truncated a minimum of 1.5m at the entries to driveways and the intersection of streets.

Suggested materials for driveways and paths in residential Area are gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete.

**4.0 COMMERCIAL DEVELOPMENT**

**4.1 EXTENT OF APPLICATION**

These Policy Guidelines shall apply to all commercial development within the Central York Precinct. Commercial development shall include new buildings and the extension, alteration, addition or modification of existing buildings. Where the commercial development includes a residential component, the Policy Guidelines contained in Section 3 shall also be considered.

**4.2 POLICY OBJECTIVES**

- To facilitate commercial development that respects the existing character of an area.
- To ensure that the primacy and heritage significance of Avon Terrace is maintained.
- To protect and encourage the conservation of the important heritage places within the Central York Precinct.
- To ensure that all commercial development, including new development and the modification or extension of existing buildings, respects the scale, form, siting, appearance and general fabric of existing buildings and the streetscape in the Central York Precinct.
- To ensure that new development is of a high architectural quality that contributes to, and enhances, the Precinct as a whole.

**4.3 POLICY DEFINITIONS**

**‘Commercial development’** shall refer to all non-residential development in the Central York Precinct.

All terms shall have the meanings applied to them under the Shire’s Town Planning Schemes and the definitions included in **Appendix G** to the Local Planning Policy.

**4.4 POLICY GUIDELINES**

The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

**4.4.1 Scale and Size**

The scale of a building is its size in relation to an existing commercial building, neighbouring buildings or the surrounding landscape. The resulting development proposal should look as if it belongs to the area in terms of scale. Scale is one of the prime determinants of an area’s character and if scale is not correctly determined, there is little prospect of correcting an out of scale development.

The street layout and subdivision pattern provide a strong influence in the scale of development because of the width of the street and the frontage of blocks to the road. New buildings should be appropriate to the immediate surroundings.

The scale of all commercial development must respect:

- a) The scale of adjoining and nearby buildings in the street;
- b) The surrounding landscape; and
- c) The scale of the existing building, in the case of additions, extensions or modifications.

Commercial development is permitted up to two storeys in height, provided that the development is sympathetic and in scale with the adjoining buildings. New buildings that need to be larger than the buildings in their immediate surroundings can be reduced in scale through architectural design techniques, such as the breaking up of long walls into bays, the appropriate arrangement of openings, the fragmenting of roof forms and the setting back of upper levels.

The requirements for second storey additions to single storey heritage buildings are contained in following Section 4.4.2.

## 4.4.2 Form

The form of the building is its overall shape, volume and the general arrangement of its main parts. New commercial development and alterations to existing commercial development in the Central York Precinct shall be sympathetic to the predominant form of the neighbouring buildings and/or the existing building, where traditional main street building forms have been followed.

Where a building form is highly repetitive, such as in Avon Terrace, significant departures in form will appear at variance to the streetscape. The main design elements of new buildings in the street façade (i.e., proportions, number of openings, ratio of window to wall areas, etc.) will also affect how a new building relates to its neighbours and how an addition relates to an existing building.

### **General Guidelines**

All commercial development shall respect and maintain the traditional pattern and appearance of the commercial buildings in the Central York Precinct and shall achieve the following criteria:

- a) Commercial buildings shall consist of horizontal strips of development broken into a vertical rhythm by the component shops or tenancies and the windows to individual shop fronts or tenancies;
- b) Large, single use buildings must maintain the appearance of articulated, individual frontages to the street through the use of architectural design features;
- c) Monolithic buildings with blank street frontages, large scale panel systems and sheet metal cladding are not acceptable;
- d) Corner sites provide an opportunity for landmark buildings and two storey development on street corners is appropriate; and

- e) New commercial developments should be simply treated, well proportioned and detailed, though should not endeavour to copy history types in general.

### ***Verandahs and Awnings***

New commercial development shall have a verandah or awning over the public footpath of sufficient dimensions so as to provide effective weather protection for pedestrians. The awning should be located at first floor height, and not at any level above. The awning should be simple in design and should line through with any existing awnings on adjacent development. Awnings should preferably extend for the full width of the building to allow continuous weather protection of the footpath below. Awnings supported by verandah posts are acceptable.

The requirement for an awning over the public footpath may be waived in locations where there is no continuous current or proposed streetscape.

For existing buildings, the reinstatement of verandahs with verandah posts located on the public footpath will normally be permitted, provided it can be demonstrated that such a verandah would be consistent with the original form and design of the building and its heritage integrity. Verandahs should only be reinstated where there is good evidence of their original existence, and must take into account modern standards for public safety.

- Restoration or reinstatement of traditional verandahs or awnings should be based on archival evidence;
- Buildings constructed without an awning or verandah should not have a traditional awning or verandah constructed;
- A simple contemporary awning or canopy may be permitted on any building, provided it does not detract from the significance of the place. In particular, it should not introduce undue separation of the ground floor from the upper levels.

### ***Compatibility of Building Forms***

The design of all commercial development shall consider the horizontal alignments of principal levels for over-pavement awnings, canopies, parapet tops, window heads and sills, wherever practicable, with the adjoining development in a streetscape.

All commercial development shall respond to and reinforce the existing characteristics of rooflines in the Central York Precinct, as follows:

- a) Plate and wall heights, roof form, ridge lines, roof slopes and parapet lines shall be consistent with the neighbouring buildings in the streetscape;
- b) Roof slopes shall achieve a minimum pitch of 25 degrees; and
- c) All verandahs shall have a minimum pitch of 10 degrees; and
- d) Commercial buildings may have an articulated front parapet wall as an acceptable alternative to the pitched roof.

## ***Parapets***

The decorative details of many original parapets are an important part of the building's original design style, and add to the distinctive character of the area. The alignment of parapets is an important component defining the skyline of the Precinct when viewed from the street.

- Parapets shall be retained in the adaptation of an existing building and should remain the main element defining the roof line when viewed from the street;
- A parapet to the primary street façade of a new building should be of comparable height to adjacent buildings; and
- New parapets may be simple or complex in their design and articulation, but should be designed in a manner that takes account of the form of parapets on adjacent buildings.

## ***Upper Floor Additions to Heritage Buildings***

A second floor may be added to an existing one storey heritage building. The overall height, however, must still be restricted to two storeys.

The additional floor shall be set back a minimum distance of 3m from the façade(s) of the heritage building and no external elements or attachments such as air conditioning plant may be placed forward of this building line.

The additional floor or new roof will be visible from Avon Terrace and other view points, so careful consideration of their appearance from all aspects is required.

- The design of a new upper floor to an existing heritage building, including its roof form, should not detract from its heritage significance;
- The form, articulation and detail of the addition should be considered carefully, and it should not detract from, or dominate, the style of the existing building;
- Simple “clean” lines, contemporary forms and proportions that derive from the original building are appropriate.

## ***Shopfronts and Windows***

New shop fronts should be encouraged to take the form of dado below glazing, with a central or side recessed entry. The entry may be set in a truncated recess.

Windows onto the street should not be tinted or treated with reflective film. Views into and out of commercial buildings are to be maximised to create visual interest and to provide for greater security through casual surveillance. A minimum of 80% of all window space of a building facing a public street shall be kept transparent, and not rendered opaque by advertising signage.

### **4.4.3 Siting**

A critical factor that influences the character of an area is the siting of buildings relative to boundaries, particularly setbacks from the primary street. New buildings in a historic context must be sympathetic to the local

streetscape and reinforce the existing front and side setbacks to maintain the established patterns of development. The adjoining properties in a streetscape usually provide the best guide as to the correct approach for the setback of buildings. Commercial development in the Central York Precinct, and in most traditional urban main street centres, has been built up to the street edge. This provides an appropriate urban “feel” and maximises opportunities for businesses to interact with passing pedestrians. Commercial development which is set back from the street edge with car parking area in front of buildings are principally car-orientated, are not pedestrian-friendly and are inappropriate to the Central York Precinct.

Older buildings constructed on lots which are not parallel to the Avon Terrace road reserve have generally been located on the front boundary edge, even though this has resulted in the front walls being set at an angle to the side walls. This siting characteristic has helped maintain a continuous built edge to the footpath and is a feature of the precinct which should be retained.

### ***Front Setbacks***

All new commercial development, and the extension, addition, alteration or modification of existing commercial buildings, shall maintain a zero setback to the street. Commercial development shall be located parallel to the street and must be built up to the public footpath edge. This shall occur even if the lot is set at an acute angle to the road reserve.

Awnings or verandahs on building facades built up to the public footpath edge are permitted to be built over the public footpath.

### ***Car Parking Location***

In general terms, no car parking bays and car parking areas shall be provided in front of any building between the building and a public footpath.

Car parking areas associated with all commercial development shall comply with provisions of the Town Planning Scheme.

## **4.4.4 Materials and Colours**

The Central York Precinct has a variety of materials and colours that relate to the main historic phases of development of York. These materials, textures, colours and decorative treatments are important elements of character and heritage significance.

The main materials that contribute to the streetscape value of the Central York Precinct are those used in the walls of buildings and their window treatments. Roofs tend to play a less significant role as they are often concealed, or partially concealed, by parapets.

Commercial development should use characteristic materials, textures and colours that are in use locally and in many of the heritage buildings. Materials and colours of the surrounding buildings may be used as a point of reference for new development. It is not necessary or desirable to copy the existing patterns of development in every detail; however the use of

similar materials and colours assists with developing harmony in a streetscape. Modern materials are not precluded, providing their proportions, textures and details are sympathetic with the surrounding context and are not in sharp contrast. The quality of new materials should be equal with those of existing buildings.

When restoring or repairing important historic places, replacement materials should match like-with-like where possible. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. Rendering or painting existing brick in older buildings will cause the brickwork to deteriorate and is a poor maintenance strategy.

The acceptable materials for new commercial buildings and additions, retaining walls, extensions or modifications to existing commercial buildings are as follows:

### **Walls**

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated iron or mini orb profile walls in a galvanised, painted or Colorbond finish are appropriate for side and rear walls and outbuildings.
- Use of limestone materials will generally not be permitted.

### **Windows and Doors**

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Steel framed.
- Timber to match the existing materials being replaced or the period of development for commercial places being restored.

### **Roofs**

Roofing materials are mostly concealed behind parapets, but there are instances of clay tiles and custom orb profile steel sheeting being exposed to view, particularly on corner sites. Preferred roofing materials include:

- Custom orb profile sheeting. Preferred sheeting is galvanised, although zincalume or Colorbond in an appropriate colour are acceptable.
- Galvanised sheeting is generally required for buildings listed in the State Register of Heritage Places.
- Clay tiles, if appropriate to the location.

Where roofing can be viewed from the street and surrounding area, large scale and large profile roofing is not acceptable. Roofing materials must not be used in large quantities as façade treatments.

## **Gutters**

- Half round galvanised gutters for places pre-1890.
- Ogee and colonial profile or quad for heritage places.
- Quad or half round for new places.

## **Colours**

The colours to be used in all commercial development will have regard to the following criteria:

- a) The colours used in an existing building and in neighbouring properties in the streetscape. Colours should respond to the original colours used or a contemporary interpretation of those colours;
- b) Colours selected from heritage ranges will be acceptable. Guidance may be taken from the colour palette available for viewing at the Shire of York offices;
- c) For new buildings, sympathetic modern colours may be acceptable;
- d) Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate;
- e) The use of bright or garish colours in large areas visible from the street is not permitted.
- f) Feature brickwork should not be painted.
- g) Colour schemes should include a range of tones of varying intensity to complement and enhance the complexity of architectural detail and decoration of the existing buildings.
- h) Monochromatic schemes are not appropriate on heritage buildings in the Central York Precinct and should be avoided.
- i) The application to new and existing buildings of “Corporate Standard” colour schemes or materials that are not sympathetic to the character of the Central York Precinct will not be supported.

The colours to be used in heritage places, including places on the State Register of Heritage Places, the Shire of York Municipal Inventory of Heritage Places or any Heritage List of a Town Planning Scheme, should be based on the original colours used in the building, which can usually be determined by paint scrapings.

### **4.4.5 Detailing**

Similar and common details used in commercial development can also assist in creating character. There was a fairly common approach to detailing in various periods of development. Modern buildings are generally more simply designed than buildings in the historic context. This difference in approach to detailing in modern buildings can disrupt the harmony of an historic streetscape.

The civic and commercial buildings in the Central York Precinct are characterised by well detailed facades generally set on the front boundary with classically derived frontages above verandahs and awnings. Building fronts

are predominantly glazed below the verandah or canopy level with doors located either centrally or to one side. Older shops have tall boards, in-goes and high ceilings. Verandahs are either bull-nosed or skillion with fascia for signage.

New development should respond to its context in terms of detailing, but may employ contemporary forms of expression. The detailing may draw on the examples of historic buildings in the Central York Precinct, but should not attempt to copy or reproduce them.

## ***Verandahs***

The style of a replacement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary evidence regarding the original verandah, a simple replacement verandah without elaborate decoration should be used. Reinstatement of missing decorative detailing on existing buildings is encouraged.

## ***Street Facades***

Alterations to the main street façade of heritage dwellings should be minimised.

The original pattern of the façade, the relationship of windows and walls and any architectural design or patterns, shall be retained.

Facades of new buildings, even though they may be of contemporary design and materials, should reflect, or be derived from, the articulation of the facades of the existing significant buildings. There shall be a visual harmony between the new façade and the existing street elevation.

New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate for the date of construction of the building.

## ***Windows and Doors***

Windows should follow similar patterns to those used in existing buildings and the streetscape. Front entries should be central to the façade or offset to one side, facing directly onto the street.

Windows and doors in new buildings should not be copies of traditional styles. Where windows are visible from the street, they should be simple timber framed, or commercial quality, box aluminium framed windows with proportions reflecting traditional openings. Steel windows may also be acceptable.

The original door or window openings on an existing building are to be maintained. Where a door or window needs replacing, it is preferable to use a copy of the original.

Security to a premises should be provided in a way that is sympathetic to the fabric and character of a building and is not unduly intrusive. Roller doors will not be permitted.

## ***Lighting***

External lighting of a commercial building must be designed to be in keeping with the character of the street, to light the building effectively without drawing

undue attention to it, and to provide an effective level of public amenity along the footpath. Lighting from the underside of awnings and verandahs is acceptable. Low key lighting to facades from verandahs and canopies is also acceptable.

### ***External Fixtures***

Elements fixed to the façade of a heritage building that are not part of the fabric of the building, such as air-conditioners, coolers, satellite dishes, antennas, etc., are inconsistent with the existing streetscape of Avon Terrace, and will not generally be permitted.

Council shall require a Development Application for proposed satellite dishes, antennas and the like under the following circumstances:

- On any property located within a heritage precinct;
- When, in the opinion of the Council, the size, position, or visual impact of the satellite dish, antenna or air conditioning unit will have a significant impact on adjoining sites or the general locality; and
- Where a proposed antenna will be visible from the street, or the proposed antenna is larger than that required for television reception.

### ***Chimneys***

New chimneys shall be tall in height, extending beyond the maximum ridge height of the roof at any point.

#### **4.4.6 Setting**

Fences and gates in the Central York Precinct generally reflect the rural atmosphere of the town. It is important to ensure that fences fronting a street respond to the streetscape and the historical significance of the place to which it is relevant.

New development must allow for direct and level access from public footpaths. In addition, high building pads should not be created as part of any new development.

This Policy aims to ensure that the palette of paving materials used in the commercial area is confined to a narrow range, to maintain a high degree of visual harmony both within the streetscape and in the area immediately adjacent to it.

### ***Paved Areas & Levels***

Footpaths and paved areas in commercial projects, other than rear car parks, are to be brick paved, paved in red asphalt with a laterite aggregate or imprinted concrete in appropriate colours & designs. Tessellated tiles may be appropriate for commercial building in-goes (recessed door entries). Rear car parks not visible from Avon Terrace may be laid in normal hot mix with a grey finish.

Every effort should be made in commercial developments to provide a flat (universal) access for pedestrians to and through the front door from the public footpath. Any changes in level should take place inside the building.

All development must be sympathetic to the existing land contours and natural features. No more than 500mm of cut or fill may be permitted as part of any

commercial development, unless such cut or fill is to match the height and scale of an existing building. Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development occurring warrant higher retaining walls.

### **Fences & Gates**

Fences and gates associated with commercial development shall be consistent with the following requirements; where there is conflict with the Shire of York Local Law on Fences, this Policy shall prevail:

- a) For existing buildings, fencing and gates shall match the period of development. Local stone, timber picket, picket and red brick or stone pier, or timber post and rail with chain mesh may be appropriate;
- b) For new development, fibre cement sheeting or steel fencing, iron or Colorbond sheeting as a fencing material shall be avoided on any street frontage in front of the building line;
- c) Fibre cement sheeting or steel fencing, iron or Colorbond sheeting may be used to fence back yards if its visual impact from the street can be limited.
- d) Limestone fencing is usually inappropriate, but may be permitted where it is proposed to be used to augment existing heritage walls;
- e) It is preferred that front fencing shall be open in style to allow views to and from the building, however if solid fencing on front and side boundaries in front of the building line is required, it shall not exceed 1200mm in height; and
- f) Any fencing on front and side boundaries in front of the building line over 750mm shall be truncated a minimum of 1.5 at the entries to driveways and the intersection of streets.

## **5. SIGNAGE**

### **5.1 EXTENT OF APPLICATION**

These Policy Guidelines shall apply to all applications for signage within the Central York and Blandstown Heritage Precincts.

It is likely that the Shire of York will develop Local Laws and Policies to address all signage applications throughout the entire district. These Policy Guidelines aim to provide a basis for signage in the Precincts, pending the preparation and gazettal and/or adoption of these more detailed requirements.

New signage must be approved by the Shire of York.

### **5.2 POLICY OBJECTIVES**

- To permit adequate identification and business advertising.

- To recognise that advertising signs can help to express the character of the Heritage Precincts, creating an attractive daytime and evening atmosphere.
- To limit the number, scale and positioning of advertising signs.
- To ensure that advertising signs are in keeping with the scale and character of the building upon which they will be attached and do not detract from the architecture of the building.
- To ensure that signage is designed and located in a manner which enhances and conserves the heritage place with which it is associated.

### 5.3 Policy Definitions

**‘Freestanding Sign’** means a sign that is displayed on an advertising structure that is mounted on the ground on one or more supports.

**‘Monolith Sign’** means a sign that is not attached to a building or any other structure and with its largest dimension being vertical. Such signs may consist of a number of modules and is generally uniform in shape from ground level to the top of the sign.

**‘Pylon Sign’** means a sign supported on one or more piers, not attached to a building or other structure, and includes a detached sign framework supported on one or more piers to which sign infill may be added.

**‘Signage or Signs’** means any word, letter, model, sign, placard, board, notice, device or representation, whether illuminated or not, used for the purposes of advertisement, announcement or direction and includes any hoarding or similar structure used for the display of advertisements. The term includes any airborne device anchored to any land or building, the painting of any building and any vehicle or trailer or other similar object placed or located so as to serve the purpose of advertising.

**‘Temporary Special Event Signs’** means a temporary sign which is erected for a short term event such as a fair or festival for charitable, religious, educational, sporting organisations or the like, which has been approved by the Shire of York. Temporary Special Event Signs must be removed at the completion of the event and consent must be sought from the Shire of York when signs are to be placed in a thoroughfare or a reserve.

**‘Tower Sign’** means a sign affixed to or placed on a tower, chimneystack or open structural mast.

All other terms shall have the meanings applied to them under the Shire’s Town Planning Schemes and the definitions included in **Appendix G** to the Local Planning Policy.

## 5.4 Policy Guidelines

This policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

In heritage precincts such as Central York and Blandstown, architectural and overall setting characteristics must be the dominant elements, and signage must play a minor role. The design and placement of signs on or near heritage buildings and places requires careful consideration to be compatible with, and not detract from, the heritage significance of the building or place.

Traditionally, signs were rarely placed on pilasters, architectural mouldings or across incised decorative patterns. They were placed so as to allow the architectural details of buildings to remain prominent.

Signs must also be visually subservient to the building to which they are attached. Given that motor traffic moves at relatively low speeds through the town, it is not considered that signs need to be large.

While advertising signage will mostly appear in the commercial area, some residents who operate legally established home businesses may also wish to advertise.

Applicants are encouraged to commission a reputable graphic designer for the design of their signage, to ensure that signs are designed to a high standard, and respect the unique setting of the Central York & Blandstown Precincts.

This Local Planning Policy does not provide controls for the following types of signs: street numbers, real estate signs, open/closed signs, building site signs and temporary special event signs.

### ***Complying Principles***

All signs within the Central York and Blandstown Precincts shall comply with the following principles:

- a) Signs shall be discreet and shall complement the building and streetscape in which it is located;
- b) Signs shall be of a size, nature, colour and position so that the architectural characteristics of a building remain the dominant element of the building;
- c) Signage must respect and not cover important architectural detail on historic buildings;
- d) Signage should respect the heritage values of the building and streetscape on which it is located, however should not attempt to recreate

a historic character through the use of “olde” lettering or other imitation styles;

- e) Signs shall be attached to a building in a manner which does not damage or compromise the structural integrity or heritage values of the building;
- f) Views into and out of shop windows should not be significantly obscured by signage;
- g) All signs should be of a high standard in terms of materials, construction and graphics. All signs shall be designed, constructed, finished, installed and maintained to a standard compatible with its surroundings, including buildings, landscaping and other signs; and
- h) Background colours used in signs shall generally be white or cream or colours from the colour palette available for viewing at the Shire of York offices.

### ***Prohibited Signs***

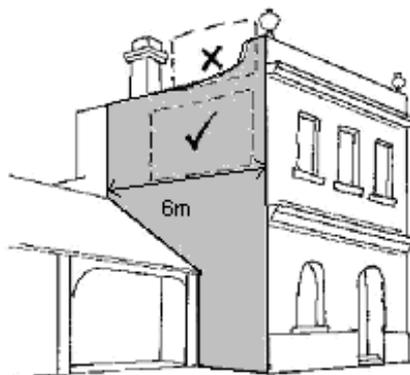
The following signs **are not permitted** within the Central York and Blandstown Precincts:

- a) Signs which consist of modern standardised corporate advertising, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is generally white or cream or colours from the colour palette available for viewing at the Shire of York offices, or appropriate to the period and the building to which it is affixed;
- b) Signs that obstruct the views to and/or from a street or public place and that have the potential to impede safe traffic movement;
- c) Signs that are likely to be confused with or mistaken for an official traffic light or sign, so as to contravene the *Traffic Act 1919* or the Traffic Regulations;
- d) Signs which are affixed to a building in a manner that will damage the building, will negatively impact on the heritage values of the building, or which will affect the stability of the building;
- e) Free-standing or portable signs, including A-frame signs, in a street or a public place, unless they are placed in a location(s) so that they do not impede pedestrian access or cause any form of hazard.
- f) Pylon, tower or monolith signs;

- g) Rotating, flashing and internally lit signs. Small neon signs hanging inside the windows of shops may be appropriate, provided they are of a size and dimension to not become a dominant townscape element;
- h) Roof signs or signs which break a parapet or roof line;
- i) Signs which involve the construction of walls or parapets that would not have been part of the traditional streetscape;
- j) The painting of whole building facades or parapets in bright or corporate colours;
- k) The painting of signage on historic buildings on unpainted brickwork or stonework;
- l) Fluorescent and iridescent paint colours;
- m) A sign located in any position where it would unreasonably obstruct or obscure the existing views from a dwelling or building of a significant feature such as the river or a public park; and
- n) Flags and bunting.

## ***Signs on Side Walls***

Signage on the side walls of buildings may be permitted, provided that the signs do not protrude above the parapet breaking the silhouette of the building, and do not have an area greater than 10 sq.m or exceed 10% of wall area, whichever is the lesser. In situations where the side of the building does not front a street, the visible area of the wall up to a maximum depth of 6m, shall be used to calculate the surface area of the wall to determine the size of the sign.



Example of appropriate and prohibited signage on the side wall of a building.

Signs shall not extend above the parapet and break the silhouette of the building.

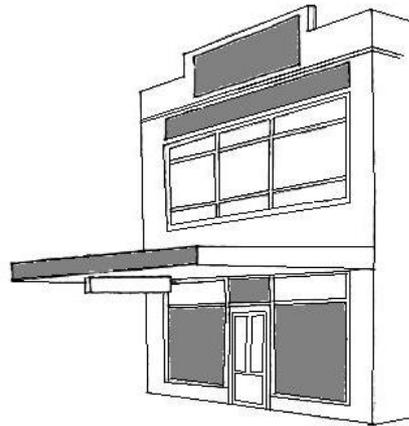
Figure shows how to calculate the surface area of the wall to determine size of the sign. The sign shall not exceed 10% or 10 sq.m of the area hatched in grey, whichever is the lesser amount.

## ***Appropriate Locations for Signs***

Generally the following areas on a heritage building are suitable for locating signage, although it is not suggested that all these opportunities should be exploited at the same time:

- the solid parapet above the cornice (horizontal sign);
- the horizontal panel below the cornice (horizontal sign);
- on upper storey side walls;
- small signs on ground or first floor windows; and
- attached to verandahs (verandah fascia and under-awning signs).

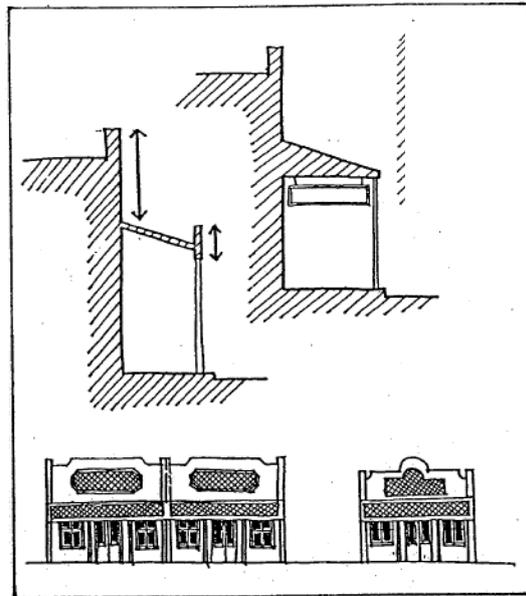
The aggregate number of signs on a building, including the painting of the building and freestanding signs, shall be minimised. The total aggregate of all signs on the frontage of the building to the street shall not exceed 10% of the total (silhouette) area of a building's principal frontage.



The total area of the shaded portions shall not exceed 10% of the total area of the face of the building to the street.

**NOTE:** This Fig needs to be altered to remove 80% of the shading from the windows.

Signage shall be placed in locations on a building which would traditionally have been used as advertising area. If the building has no such locations, the signage may be deemed inappropriate. Preferred locations for signage shall include: awnings, fascias, doors, walls and hanging under verandahs, either facing the street or at right angles to the street above the footpath.



Example of areas of traditional locations of signage.

### ***Required Overhead Clearance***

All signage situated over the footpath or other pedestrian thoroughfare shall maintain a minimum clearway of 2.75m from the natural ground level. Signs situated under the verandah of a building shall not project beyond the outer edge of the verandah.

### ***Permitted Signage Content***

The information to be included on a sign shall be limited to:

- a) The name, address, telephone number, email address or website associated with the premises;
- b) The name of the business(es) contained within the premises;
- c) The type of services, activities or products available within the premises.

Unrelated or third party advertising is not permitted.

Lettering on signs is restricted to 300mm high, except on larger two storey buildings, where the lettering on the principal sign may be 380mm high.

### ***Corporate Colours & “Branding”***

Signs which consist of modern standardised corporate colours and advertising are not generally permitted, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is generally white or cream or colours from the colour palette available for viewing at the Shire of York offices, or appropriate to the period and the building to which it is affixed;

The use of corporate colours and business logos shall not exceed 40% of the total surface area of the sign. The remaining background colours of the signs shall generally be white or cream or colours from the colour palette available for viewing at the Shire of York offices.

***Illumination of Signs***

The illumination of signs may be appropriate in some circumstances. The illumination of signs may only occur from external lighting sources or spot lighting of architectural elements or the sign itself. All lighting shall be discreet and all transformers and cabling shall be concealed.

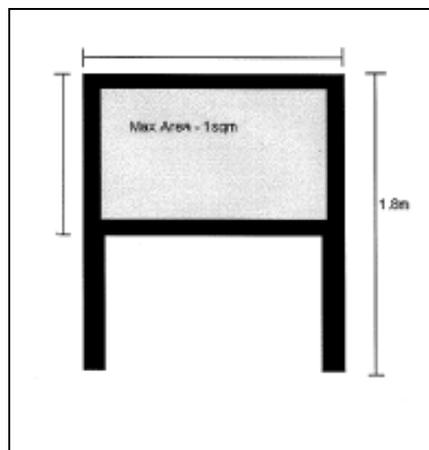
***Home Occupation & Business Signs***

Signage relating to home occupation or home business within a residential dwelling shall be restricted to one advertising sign placed on a wall of the residence or the front fence of the property. The sign shall have a maximum area of 0.2 sq.m and shall display the name of the business and street address only. Where these standards are achieved, no application for planning approval is necessary.

***Freestanding Signs***

Freestanding signs are only permitted on lots where the building is set back from the street, and must comply with the following;

- a) The information included on the sign shall be limited to the name, address, telephone number, email address or website, and hours of operation of the business carried out on the premises;
- b) A maximum of one (1) free standing sign is permitted per property;
- c) The area of the sign (excluding supports) must not exceed 1 sq.m and a maximum length of 2.4m; (IS THIS CORRECT – 2.4M?)
- d) The sign shall have a maximum height of 1.8m above natural ground level;
- e) The sign shall be permanently fixed to the ground; and
- f) Sign must be positioned in a suitable location so that pedestrian movement and views into and out of the premises is not obstructed.



An example of how to calculate the areas/requirements for a freestanding sign.

**YORK MUNICIPAL INVENTORY**  
**LIST OF HERITAGE PLACES AND PRECINCTS**

**KEY**

REF - Place Reference Number

CAT.

**1A** State Registered or on the Assessment Program of the Heritage Council of Western Australia.

A place of exceptional cultural heritage significance for the Shire of York and the State of Western Australia, that is either in the Heritage Council of WA's Register of Heritage Places, or worthy of consideration for entry into the Register.

Recommend: Retain and Conserve the place.

A development application needs to be submitted to Heritage Council of WA for approval for any proposed development prior to it being submitted to Council.

**1B** A place of considerable cultural heritage significance to Shire of York that is worthy of recognition and protection through provisions of the Shire of York's Town Planning Scheme.

Recommend: Retain and Conserve the place.

Planning application needs to be submitted to Shire of York for any proposed development. Full consultation with property owner prior to making the recommendation.

**2** A place of considerable cultural heritage significance to Shire of York that is worthy of recognition and protection through provisions of the Shire of York's Town Planning Scheme.

Recommend: Retain and Conserve the place.

Planning application needs to be submitted to Shire of York for any proposed development. Full consultation with property owner prior to making the recommendation.

**3** A place of some cultural heritage significance to Shire of York.

Recommend: Encourage retention of the place and document the place (Archival Record Required) if retention is not possible.

No particular heritage planning constraints.

**4** A site without built features, but of some cultural heritage significance to Shire of York.

No particular heritage planning constraints.

Recommend: Interpret the place and/or Archival Record the place.

| Cat. | Level of Significance      | Description   | Desired Outcome  |
|------|----------------------------|---|--|
| 1A   | Exceptional significance   | Essential to the heritage of the locality. Rare or outstanding example.   | The place should be retained and conserved unless there is no feasible and prudent alternative to doing otherwise.<br><br>Any alterations or extensions should reinforce the significance of the place, and be in accordance with a Conservation Plan (if one exists for the place). |
| 1B/2 | Considerable significance  | Very important to the heritage of the locality. High degree of integrity/authenticity.  | Conservation of the place is highly desirable.<br><br>Any alterations or extensions should reinforce the significance of the place.  |
| 3    | Some/Moderate significance | Contributes to the heritage of the locality. Has some altered or modified elements, not necessarily detracting from the overall significance of the item. | Conservation of the place is desirable.<br><br>Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible.   |
| 4    | Little Significance        | Does not fulfil the criteria entry in the local Heritage List.  | Photographically record prior to major development or demolition. Recognise and interpret the site if possible.  |

## SHIRE OF YORK: POLICY MANUAL

| DESCRIPTION   | ADDRESS                          | HCWA No. | ASSESS No.                               | CAT. |
|---|----------------------------------|----------|--|------|
| Wansborough House & Grounds   | Avon Tce. No. 22                 | 2830     | 11640                                    | 1A   |
| York Town Hall  | Avon Tce. No. 79-81              | 2880     | 31319/31320                              | 1A   |
| Imperial Hotel & Outbuildings   | Avon Tce. No. 83                 | 10725    | 12790                                    | 1A   |
| Post Office   | Avon Tce. No. 134                | 2855     | 50028                                    | 1A   |
| Fire Station  | Avon Tce. No. 151                | 2860     | 14300                                    | 1A   |
| Police Stn., Court House and Gaol   | Avon Tce. Lot 22997              | 2852     | 50096                                    | 1A   |
| Police Stn. cottages  | rear Avon Tce. Lot 22997         | 2882     | 50021/50022                              | 1A   |
| former Monger's Store   | Avon Tce. cnr. Pool Street Lot 2 | 3980     | 4270                                     | 1A   |
| Dwelling Eliza's Cottage  | Bland St. No. 9                  | 2868     | 14150                                    | 1A   |
| Old Hospital  | Brook St.                        | 3019     | 50037                                    | 1A   |
| Residency Museum  | Brook St.                        | 2870     |  | 1A   |
| Flour Mill  | Broome St. No. 7-13              | 2872     | 10462                                    | 1A   |
| Sandalwood yards – Part of Monger's Store                                 | Ford St. cnr. Avon Sts.          |          | 13090                                    | 1A   |
| Gwambygine Farm & Pool  | Great Southern Hwy               | 14880    | 800                                      | 1A   |
| Faversham House   | Grey St. No. 24                  | 2876     | 50035                                    | 1A   |
| York Primary School   | Howick St.                       | 2877     | 50031                                    | 1A   |
| Holy Trinity Church/Hall/Rectory  | Newcastle St. cnr. Pool St.      | 3213     | Combined                                 | 1A   |
| Marwick's Barn  | Newcastle St. No. 19-21          | 2884     | 9732                                     | 1A   |
| Balladong farm group - Balladong Farm - Granary & Stables - Shearing Shed | Parker St. cnr. Avon St.         | 2867     | Taken Balladong House from this section. | 1A   |

## SHIRE OF YORK: POLICY MANUAL

|   |   |      |       |           |
|---|---|------|-------|-----------|
| Homestead 'Korrawilla'  | Quairading Rd. Greenhills                   | 4184 |       | 1A        |
| Monument and Park   | Railway St.                                 | 2891 |       | 1A        |
| York Railway station - Incl. Platforms & Quarters, Landscape and settings | Railway St.                                 | 2899 | 50030 | 1A        |
| Bridge House & Grounds  | Redmile Rd. No. 1                           | 2893 | 11350 | 1A        |
| St. Patrick's Catholic Church Presbytery - St. Patrick's Church Hall      | South St. cnr. Grey St.                     | 2878 | 50082 | 1A        |
| Ragged Robin  | South St. No. 25                            | 2898 | Done  | 1A        |
| fmr. Convent of Mercy   | South St. No. 29                            | 2879 | 50038 | 1A        |
| York Beverley Race Club Building  | York Shire                                  | 3426 |       | 1A        |
| <b>Blandstown Heritage Precinct (Refer to other index)</b>                | <b>York (as shown on map at Appendix B)</b> |      |       | <b>1B</b> |
| <b>Central York Heritage Precinct (Refer to other index)</b>              | <b>York (as shown on map at Appendix B)</b> |      |       | <b>1B</b> |
| Girl Guides Barn  | Ford St.                                    |      |       | 2         |
| "Hartleap" Farmhouse and Outbuildings                                     | Forrest St.                                 |      |       | 2         |
| "Hillside" Farmhouse  | Forrest St.                                 |      |       | 2         |
| Uniting Church & Hall (frm. Wesley Church)                                | Grey St. Pt. Suburban Lot D                 |      |       | 2         |
| Dwelling  | Henry Rd. No. 44                            |      | 7050  | 2         |
| Dwelling  | Henry Rd. No. 45                            |      |       | 2         |
| Dwelling "Peppercorn Cottage"   | Henry Rd. No. 68                            |      |       | 2         |
| Tipperary Church fmr. St Pauls  | Northam Rd.                                 |      |       | 2         |
| Dwelling "Laurelville"  | Panmure Rd. No. 18                          |      |       | 2         |

## SHIRE OF YORK: POLICY MANUAL

|                                |   |      |       |   |
|--------------------------------|---|------|-------|---|
| St Andrews Church and Cemetery | Quairading Rd.<br>Greenhills              |      |       | 2 |
| Four Julias                    | South St.                                 |      |       | 2 |
| Farmhouse 'Spice's Farm'       | Spices Rd.                                | 5999 | 780   | 2 |
| Anglican Rectory & Grounds     | Suburban St. No. 75                       | 4201 | 50026 | 2 |
| Dwelling                       | Alfred St. No. 2                          |      | 12960 | 3 |
| Dwelling and Shop              | Avon Tce. No. 208<br>(Cnr River Street)   | 5960 | 6560  | 3 |
| Dwelling                       | Bird St. No. 25                           |      | 9070  | 3 |
| Dwelling                       | Bird St. No. 26                           |      | 7830  | 3 |
| Dwelling                       | Bland Rd. No. 16                          |      | 11590 | 3 |
| Dwelling                       | Bland Rd. No. 24                          |      | 11560 | 3 |
| Dwelling                       | Brunswick St. No. 59                      |      | 14181 | 3 |
| Guest House "Hope Farm"        | Carter Rd. No. 15                         |      | 4170  | 3 |
| Dwelling                       | Centennial Drive.<br>No. 87               |      | 7340  | 3 |
| Dwelling "Cotmore"             | Clifford St. No. 9                        |      |       | 3 |
| Dwelling                       | Clifford St. No. 11<br>(cnr Seabrook St.) |      |       | 3 |
| Dwelling                       | Clifford St. No. 33                       |      | 8260  | 3 |

|                             |                     |  |       |   |
|-----------------------------|---------------------|--|-------|---|
| Dwelling                    | Dinsdale St. No.3   |  | 11930 | 3 |
| Dwelling "Sunny Hill"       | Dinsdale St. No. 16 |  | 60315 | 3 |
| Dwelling                    | Ford St. No. 2      |  |       | 3 |
| Dwelling                    | Ford St. No. 44     |  | 8141  | 3 |
| Dwelling "The Mount"        | Fraser St. No. 29   |  |       | 3 |
| Dwelling "Lavender Cottage" | Georgiana St. No. 6 |  |       | 3 |

## SHIRE OF YORK: POLICY MANUAL

|                                       |  |  |       |   |
|---------------------------------------|--|--|-------|---|
| Dwelling                              | Glebe St. No. 1                            |  | 11800 | 3 |
| Recreation                            | Glebe St. No. 8                            |  | 31280 | 3 |
| Dwelling "Avonlea"                    | George St. No. 13                          |  | 60086 | 3 |
| Farmhouse<br>"Woodlands"              | Goldfields Rd.<br>(east of Marwick Rd.)    |  |       | 3 |
| St Ronan's Well Reserve               | Great Southern Hwy.<br>15kms towards Perth |  |       | 3 |
| Dwelling                              | Grey St. No. 17                            |  |       | 3 |
| Dwelling                              | Grey St. No. 35                            |  | 6503  | 3 |
| Dwelling                              | Grey St. No. 55                            |  | 60047 | 3 |
| Dwelling                              | Harriott St. No. 37                        |  | 4500  | 3 |
| Kingdom Hall –<br>Jehovah's Witnesses | Knight St. No. 9                           |  |       | 3 |
| Dwelling –<br>"Chinaman's Cottage"    | Lee Cres.                                  |  |       | 3 |
| Dwelling                              | Lincoln St. No. 11                         |  | 5520  | 3 |
| Dwelling                              | Macartney St. No. 26                       |  | 13120 | 3 |
| Dwelling                              | Macartney St. No. 28                       |  | 6521  | 3 |
| Dwelling                              | Macartney St. No. 30                       |  | 6520  | 3 |
| Dwelling                              | Macartney St. No. 35                       |  | 5180  | 3 |
| Dwelling                              | Macartney St. No. 45                       |  | 6870  | 3 |
| Dwelling                              | Macartney St. No. 54                       |  | 13960 | 3 |
| Dwelling                              | Macartney St..No. 66                       |  | 13670 | 3 |

## SHIRE OF YORK: POLICY MANUAL

|                                |                                 |      |       |   |
|--------------------------------|---------------------------------|------|-------|---|
| Dwelling                       | Macartney St. No. 68            |      | 7270  | 3 |
| Dwelling                       | Macartney St. No. 74            |      | 12830 | 3 |
| Dwelling "Glenidel"            | Maud St. No. 20                 |      | 12350 | 3 |
| Dwelling                       | Meares St. No. 3                |      | 12440 | 3 |
| Dwelling "Cottage Garden"      | Meares St. No. 14               |      | 7960  | 3 |
| Dwelling                       | Meares St. No. 19               |      | 4770  | 3 |
| York Cemetery                  | Mount Street                    | 2885 | 30750 | 3 |
| Dwelling                       | Newcastle St. No. 1             |      | 10550 | 3 |
| Dwelling                       | Newcastle St. No. 15            |      | 9870  | 3 |
| Dwelling – Kairey Cottage      | Newcastle St. No. 16            |      |       | 3 |
| Dwelling                       | Newcastle St. No. 22            |      | 9731  | 3 |
| Dwelling                       | Newcastle St. No. 24            |      | 9730  | 3 |
| Dwelling                       | Newcastle St. No. 25            |      | 4540  | 3 |
| Dwelling                       | Newcastle St. No. 28            |      | 11520 | 3 |
| Dwelling "Stone Grange"        | Newcastle St. No. 29            |      | 12920 | 3 |
| Dwelling                       | Newcastle St. No. 37            |      | 4640  | 3 |
| Dwelling                       | Newcastle St. No. 42            |      | 5710  | 3 |
| Dwelling                       | Newcastle St. No. 49            |      | 12650 | 3 |
| Dwelling                       | Newcastle St. No. 53            |      | 8530  | 3 |
| Dwelling                       | Newcastle St. No.71             |      | 6530  | 3 |
| Dwelling Mt Bakewell homestead | North Rd. (opposite racecourse) | 5986 | 55    | 3 |

## SHIRE OF YORK: POLICY MANUAL

|   |                               |      |                        |   |
|---|-------------------------------|------|------------------------|---|
| Dwelling "Lott's Cottage"                       | Northam Rd. No. 12            |      |                        | 3 |
| Prunster Cottage and Barne's Cottage            | Northam Rd. No. 57            |      |                        | 3 |
| Dwelling  | Osnaburg Rd. 2                |      |                        | 3 |
| Dwelling  | Panmure Rd. No. 12            |      | 7400                   | 3 |
| Dwelling  | Panmure Rd. No. 24            |      | 8340                   | 3 |
| Dwelling 'Four Winds'                           | Panmure Rd. No. 38            | 5993 | 6400                   | 3 |
| Dwelling  | Panmure Rd. No. 67            |      | 10950                  | 3 |
| Dwelling  | Panmure Rd. No. 93            |      | 11601                  | 3 |
| Dwellings - group of railway - workers cottages | Pelham St. Nos. 15,17,19 & 21 | 5994 | 12875/12876/6310/12877 | 3 |
| Suspension Bridge                               | Pool St.                      | 2889 |                        | 3 |
| Dwelling - "Job Bailey's Cottage"               | Pool St. No. 2                |      |                        | 3 |
| Dwelling  | Pool St. No. 4                | 5996 | 7720                   | 3 |
| Dwelling  | Pool St. No. 7                | 5997 | 5070                   | 3 |
| Dwelling  | Pool St. No. 15               |      | 7650                   | 3 |
| Dwelling  | Pool St. No. 17               |      | 9820                   | 3 |
| Dwelling  | Pool St. No. 19               |      | 7700                   | 3 |
| Dwelling  | Pool St. No. 21               |      | 14130                  | 3 |
| Dwelling "Layla's Cottage"                      | Pool St. No. 23               |      | 7980                   | 3 |
| Dwelling  | Suburban Rd. No. 36           |      | 9030                   | 3 |
| Dwelling 'The Roundhouse'                       | Spencer Brook Rd. No. 38      | 5998 | 6010                   | 3 |
| Dwelling  | Suburban Rd. No. 40           |      | 9520                   | 3 |

## SHIRE OF YORK: POLICY MANUAL

|  |   |              |              |   |
|--|---|--------------|--------------|---|
| Dwelling   | Suburban Rd. No. 42                             |              | 6210         | 3 |
| Dwelling   | Suburban Rd. No. 50                             |              | 8660         | 3 |
| Dwelling   | Suburban Rd. No. 56                             |              | 8310         | 3 |
| Dwelling   | Suburban Rd. No. 58                             |              | 9900         | 3 |
| Dwelling   | Tenth Rd. No. 9                                 |              | 14090        | 3 |
| Dwelling   | Tenth Rd. No. 11                                |              | 14120        | 3 |
| Dwelling   | Tenth Rd. No. 17                                |              | 10100        | 3 |
| Dwelling   | Tenth Rd. No. 24                                |              | 6578         | 3 |
| Dwelling   | View St. No. 7                                  |              | 8420         | 3 |
| Dwelling<br>"Simmonswood<br>Cottage"               | View St. No. 13                                 |              | 60042        | 3 |
| Dwelling 'Mile Pool'<br>homestead (ruin)           | Cowan Rd.                                       | 5963         |              | 4 |
| Farmhouse  | Doodenanning Rd.<br>Greenhills                  | 5964         |              | 4 |
| Pony Club  | Ford St., Dinsdale<br>St. and Ulster<br>Roads   | 5966         |              | 4 |
| Site of the Gilgerring<br>hamlet                   | Great Southern<br>Highway                       | 5970         |              | 4 |
| Dwelling 'Look Out'                                | Great Southern<br>H'way / Beverley              | 5971         |              | 4 |
| View - 'Top Of The<br>World Hill'                  | Great Southern<br>Hwy 7kms west of<br>Avon Tce. | 5972         |              | 4 |
| Ruin -convict station<br>'Southoban' farm          | Great Southern<br>Highway                       | 5973         | 1560         | 4 |
| Farmhouse<br>remains/stock shelter<br>'Glen Irwin' | Gwambygine Rd.<br>East                          | 5975<br>5975 | 3691<br>3691 | 4 |
| Ruins/farmhouse<br>'Glen Irwin'                    | Gwambygine Rd.<br>East                          |              | 3691         |   |
| Sheep dip 'Glen Irwin'                             | Gwambygine Rd.                                  |              |              |   |

## SHIRE OF YORK: POLICY MANUAL

|  |  |      |       |   |
|--|--|------|-------|---|
|  | East                                   |      |       |   |
| Site/Carob & Peppercorn trees            | Ulster Rd. No. 122.<br>cnr. Carter Rd. | 6900 | 12230 | 4 |
| Site / (with almond tree close to fence) | Water St. cnr.<br>Spencer Rd.          | 6901 | 7540  | 4 |
| Tipperary School                         | York Shire                             |      |       | 4 |
| Grigson's Well                           | York Shire                             |      |       | 4 |
| Burges Siding                            | York Shire                             |      |       | 4 |

**YORK MUNICIPAL INVENTORY**  
**LIST OF HERITAGE PLACES AND AREAS**

**BLANDSTOWN HERITAGE PRECINCT – CAT 1B**

**KEY**

To Locate a property refer to street name alphabetically and then house number.

**NOTE:** LEVEL OF CONTRIBUTION TO PRECINCT YET TO BE DETERMINED.

| DESCRIPTION   | ADDRESS                | HCWA No.  | ASSESS No. |
|---|------------------------|-----------|------------|
|   |                        |           |            |
| House   | Avon Tce. No. 7        | 2824      | 6740       |
| House   | Avon Tce. No. 13       | 2825      | 9380       |
| Fmr Albion Hotel & Grounds                            | Avon Tce. No. 19       | 2826/2828 | 5480       |
| Langford House  | Avon Tce. No. 18       | 2827      | 10830      |
| Brook Cottage   | Avon Tce. No. 21       | 2829      | 7330       |
| Wansbrough House & Grounds                            | Avon Tce. No. 22       | 2830      | 11640      |
| House and Outbuildings<br>(fmr. Bakery and Residence) | Avon Tce. No. 29       | 2831      | 9250       |
| House   | Avon Tce. No. 31       | 2832      | 13430      |
| House   | Avon Tce. No. 49       | 2833      | 10590      |
| House   | Avon Tce. No. 51       | 2834      | 5560       |
| Dwelling Eliza's Cottage                              | Bland St. No. 9        | 2868      | 14150      |
| Blands Brook & bridge                                 | Blandstown             | 2865      |            |
| Old Hospital  | Brook St.              | 3019      | 50037      |
| Residency Museum                                      | Brook St.              | 2870      |            |
| 'Bygraves' House (fmr. Shop)                          | Great Southern Highway | 2875      |            |

## SHIRE OF YORK: POLICY MANUAL

|  |                          |      |       |
|--|--------------------------|------|-------|
| Balladong farm group<br>Balladong Farm<br>Granary & Stables<br>Shearing Shed | Parker St. cnr. Avon St. | 2867 | Done  |
| Bridge House &<br>Grounds  | Redmile Rd. No. 1        | 2893 | 11350 |
| Redmile House &<br>Grounds   | Redmile Rd. No. 2        | 2892 | 5980  |
| House – Clementine   | Redmile Rd. No.13        | 6905 | 9180  |
| House  | Redmile Rd. No.22        | 2894 | 5740  |
| House  | Wheeler St. No. 2        | 2901 | 13310 |
| House  | Wheeler St. No. 4        |      | 12390 |
| House  | Wheeler St. No. 10       |      | 7510  |
| House  | Wheeler St. No. 12       | 2902 | 5550  |
| House  | Wheeler St. No. 14       | 2903 | 10610 |
| Dwelling 'Crossing<br>Cottage'   | William St. Nos. 13/15   | 6902 | 5261  |

Levels of contribution/Significance of Heritage Places to be completed in conjunction with the Council's Heritage Advisor

**YORK MUNICIPAL INVENTORY**  
**LIST OF HERITAGE PLACES AND AREAS**

**CENTRAL YORK HERITAGE PRECINCT – CAT 1B**

**KEY**

To Locate a property refer to street name alphabetically and then house number.

**NOTE:** LEVEL OF CONTRIBUTION TO PRECINCT YET TO BE DETERMINED.

| DESCRIPTION  | ADDRESS                       | HCWA No. | ASSESS No.         |
|--|-------------------------------|----------|--------------------|
| Spencer's Bakery   | Avon Tce. No. 53              | 2835     | 11500              |
| York Town Hall   | Avon Tce. No. 79-81           | 2880     | 31319/31320        |
| Imperial Hotel & Outbuildings  | Avon Tce. No. 83              | 10725    | 12790              |
| Castle Hotel & Outbuildings  | Avon Tce. No. 95              | 2863     | 5860               |
| Shop - Galileo   | Avon Tce. No. 91-93           | 10708    | 4690               |
| Davies Buildings<br>Eastern Districts<br>Building Co.<br>& Building Premises | Avon Tce. No. 96-102          | 2854     | 6160               |
| Collins Buildings  | Avon Tce. No. 104-106         | 2809     | 11620/4560         |
| Central Buildings  | Avon Tce. No. 105,107,111-113 | 2838     | 11170/11821        |
| Shops  | Avon Tce. No. 108,110-112     | 2837     | 8440               |
| Bendigo Bank   | Avon Tce. No. 114             | 2839     | 50017              |
| Shops  | Avon Tce. No.115              | 2840     | 11990              |
| Shops  | Avon Tce. No. 117-119         | 2840     | 13270/13271        |
| York Motor Museum  | Avon Tce. No. 116-120         | 10519    | 6673/6672          |
| Four Shops   | Avon Tce. No. 125-135         |          | 6662/6663/<br>6664 |
| Settlers House incl. courtyard & grounds                                     | Avon Tce. No. 125-135 (rear)  | 10518    | 6660               |
| Post Office  | Avon Tce. No. 134             | 2855     | 50028              |

## SHIRE OF YORK: POLICY MANUAL

|  |                                  |       |             |
|--|----------------------------------|-------|-------------|
| Shops and former garage                            | Avon Tce. No. 137 - 141          |       | 6659        |
| York Co-op Building incl. Quarters behind          | Avon Tce. No. 138-140            | 11551 | 14240       |
| York Hotel (fmr. Palace Hotel)                     | Avon Tce. No. 145                | 2861  | 6040        |
| Westpac Bank (fmr. Bank of NSW & Quarters)         | Avon Tce. No. 147                | 2849  | 13800       |
| ANZ Bank & Quarters                                | Avon Tce. No. 148                | 2841  | 4420        |
| Fire Station                                       | Avon Tce. No. 151                | 2860  | 14300       |
| Kookaburra's Backpackers                           | Avon Tce. No. 152                | 2842  | 4950        |
| Commercial Building<br>Motor Museum & Workshop     | Avon Tce. No. 153                | 2843  | 6671        |
| C.W.A. House                                       | Avon Tce. No. 154                | 2844  | 5845        |
| Commercial Building (fmr. Bank)                    | Avon Tce. No. 155                | 2845  | 7570        |
| House & Outbuildings                               | Avon Tce. No. 156-158            | 2846  | 8512        |
| Police Stn., Court House and Gaol                  | Avon Tce. Lot 22997              | 2852  | 50096       |
| Police Stn. cottages                               | rear Avon Tce. Lot 22997         | 2882  | 50021/50022 |
| former Monger's Store                              | Avon Tce. cnr. Pool Street Lot 2 | 3980  | 4270        |
| Site of original cemetery                          | Balladong St. cnr. Avon Sts.     | 2866  | 31290       |
| Flour Mill   | Broome St. No. 7-13              | 2872  | 10462       |
| Sandalwood yards                                   | Ford St. cnr. Avon Sts.          |       | 13090       |
| Dwelling   | Ford St. No. 2                   | 5965  | 9410        |
| York Primary School (fmr. York Junior High School) | Howick St.                       | 2877  | 50031       |
| Masonic Hall                                       | Joaquina St.                     | 2881  | 14280       |
| Monument and Park                                  | Railway St.                      | 2891  |             |
| York Railway station                               | Railway St.                      | 2899  | 50030       |

## SHIRE OF YORK: POLICY MANUAL

|   |   |      |       |
|---|---|------|-------|
| Incl. Platforms & Quarters,<br>Landscape and settings                 |   |      |       |
| St. Patrick's Catholic Church Presbytery<br>St. Patrick's Church Hall | South St.<br>South St.<br>South St. cnr. Grey St. | 2878 | 50082 |
| House   | South St. No. 9                                   | 2896 | 6390  |
| House   | South St. No. 11                                  | 2897 | 10450 |
| Ragged Robin Robin (frm. York Library and St Patrick's Convent)       | South St. No. 25                                  | 2898 | Done  |
| fmr. Convent of Mercy   | South St. No. 29                                  | 2879 | 50038 |
| House   | South St. No. 46                                  | 4200 | 11080 |

**Levels of contribution/Significance of Heritage Places to be completed in conjunction with the Council's Heritage Advisor**



**YORK MUNICIPAL INVENTORY  
LIST OF HERITAGE PLACES AND AREAS**

**BLANDSTOWN HERITAGE PRECINCT – CAT 1B**

**KEY**

To Locate a property refer to street name alphabetically and then house number.

**NOTE:** LEVEL OF CONTRIBUTION TO PRECINCT YET TO BE DETERMINED.

| DESCRIPTION   | ADDRESS                | HCWA No.  | ASSESS No. |
|---|------------------------|-----------|------------|
| House   | Avon Tce. No. 7        | 2824      | 6740       |
| House   | Avon Tce. No. 13       | 2825      | 9380       |
| Fmr Albion Hotel & Grounds                            | Avon Tce. No. 19       | 2826/2828 | 5480       |
| Langford House  | Avon Tce. No. 18       | 2827      | 10830      |
| Brook Cottage   | Avon Tce. No. 21       | 2829      | 7330       |
| Wansbrough House & Grounds                            | Avon Tce. No. 22       | 2830      | 11640      |
| House and Outbuildings<br>(fmr. Bakery and Residence) | Avon Tce. No. 29       | 2831      | 9250       |
| House   | Avon Tce. No. 31       | 2832      | 13430      |
| House   | Avon Tce. No. 49       | 2833      | 10590      |
| House   | Avon Tce. No. 51       | 2834      | 5560       |
| Dwelling Eliza's Cottage                              | Bland St. No. 9        | 2868      | 14150      |
| Blands Brook & bridge                                 | Blandstown             | 2865      |            |
| Old Hospital  | Brook St.              | 3019      | 50037      |
| Residency Museum                                      | Brook St.              | 2870      |            |
| 'Bygraves' House (fmr. Shop)                          | Great Southern Highway | 2875      |            |

## SHIRE OF YORK: POLICY MANUAL

|  |                          |      |       |
|--|--------------------------|------|-------|
| Balladong farm group<br>Balladong Farm<br>Granary & Stables<br>Shearing Shed | Parker St. cnr. Avon St. | 2867 | Done  |
| Bridge House &<br>Grounds  | Redmile Rd. No. 1        | 2893 | 11350 |
| Redmile House &<br>Grounds   | Redmile Rd. No. 2        | 2892 | 5980  |
| House – Clementine   | Redmile Rd. No.13        | 6905 | 9180  |
| House  | Redmile Rd. No.22        | 2894 | 5740  |
| House  | Wheeler St. No. 2        | 2901 | 13310 |
| House  | Wheeler St. No. 4        |      | 12390 |
| House  | Wheeler St. No. 10       |      | 7510  |
| House  | Wheeler St. No. 12       | 2902 | 5550  |
| House  | Wheeler St. No. 14       | 2903 | 10610 |
| Dwelling 'Crossing<br>Cottage'   | William St. Nos. 13/15   | 6902 | 5261  |

Levels of contribution/Significance of Heritage Places to be completed in conjunction with the Council's Heritage Advisor

**YORK MUNICIPAL INVENTORY  
LIST OF HERITAGE PLACES AND AREAS**

**CENTRAL YORK HERITAGE PRECINCT – CAT 1B**

**KEY**

To Locate a property refer to street name alphabetically and then house number.

**NOTE:** LEVEL OF CONTRIBUTION TO PRECINCT YET TO BE DETERMINED.

| DESCRIPTION  | ADDRESS                       | HCWA No. | ASSESS No.         |
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| York Town Hall   | Avon Tce. No. 79-81           | 2880     | 31319/31320        |
| Imperial Hotel & Outbuildings  | Avon Tce. No. 83              | 10725    | 12790              |
| Castle Hotel & Outbuildings  | Avon Tce. No. 95              | 2863     | 5860               |
| Shop - Galileo   | Avon Tce. No. 91-93           | 10708    | 4690               |
| Davies Buildings<br>Eastern Districts<br>Building Co.<br>& Building Premises | Avon Tce. No. 96-102          | 2854     | 6160               |
| Collins Buildings  | Avon Tce. No. 104-106         | 2809     | 11620/4560         |
| Central Buildings  | Avon Tce. No. 105,107,111-113 | 2838     | 11170/11821        |
| Shops  | Avon Tce. No. 108,110-112     | 2837     | 8440               |
| Bendigo Bank   | Avon Tce. No. 114             | 2839     | 50017              |
| Shops  | Avon Tce. No.115              | 2840     | 11990              |
| Shops  | Avon Tce. No. 117-119         | 2840     | 13270/13271        |
| York Motor Museum  | Avon Tce. No. 116-120         | 10519    | 6673/6672          |
| Four Shops   | Avon Tce. No. 125-135         |          | 6662/6663/<br>6664 |
| Settlers House incl. courtyard & grounds                                     | Avon Tce. No. 125-135 (rear)  | 10518    | 6660               |

## SHIRE OF YORK: POLICY MANUAL

|  |  |       |             |
|--|--|-------|-------------|
| Post Office  | Avon Tce. No. 134                            | 2855  | 50028       |
| Shops and former garage                            | Avon Tce. No. 137 - 141                      |       | 6659        |
| York Co-op Building incl. Quarters behind          | Avon Tce. No. 138-140                        | 11551 | 14240       |
| York Hotel (fmr. Palace Hotel)                     | Avon Tce. No. 145                            | 2861  | 6040        |
| Westpac Bank (fmr. Bank of NSW & Quarters)         | Avon Tce. No. 147                            | 2849  | 13800       |
| ANZ Bank & Quarters                                | Avon Tce. No. 148                            | 2841  | 4420        |
| Fire Station                                       | Avon Tce. No. 151                            | 2860  | 14300       |
| Kookaburra's Backpackers                           | Avon Tce. No. 152                            | 2842  | 4950        |
| Commercial Building<br>Motor Museum & Workshop     | Avon Tce. No. 153                            | 2843  | 6671        |
| C.W.A. House                                       | Avon Tce. No. 154                            | 2844  | 5845        |
| Commercial Building (fmr. Bank)                    | Avon Tce. No. 155                            | 2845  | 7570        |
| House & Outbuildings                               | Avon Tce. No. 156-158                        | 2846  | 8512        |
| Dwelling and shop                                  | Avon Tce. No. 208 (sth. side) crn. River Rd. | 5960  | 6560        |
| Police Stn., Court House and Gaol                  | Avon Tce. Lot 22997                          | 2852  | 50096       |
| Police Stn. cottages                               | rear Avon Tce. Lot 22997                     | 2882  | 50021/50022 |
| former Monger's Store                              | Avon Tce. cnr. Pool Street Lot 2             | 3980  | 4270        |
| Site of original cemetery                          | Balladong St. cnr. Avon Sts.                 | 2866  | 31290       |
| Flour Mill   | Broome St. No. 7-13                          | 2872  | 10462       |
| Sandalwood yards                                   | Ford St. cnr. Avon Sts.                      |       | 13090       |
| Dwelling   | Ford St. No. 2                               | 5965  | 9410        |
| York Primary School (fmr. York Junior High School) | Howick St.                                   | 2877  | 50031       |

## SHIRE OF YORK: POLICY MANUAL

|   |   |      |       |
|---|---|------|-------|
| Masonic Hall  | Joaquina St.                                      | 2881 | 14280 |
| Monument and Park   | Railway St.                                       | 2891 |       |
| York Railway station<br>Incl. Platforms &<br>Quarters,<br>Landscape and<br>settings | Railway St.                                       | 2899 | 50030 |
| St. Patrick's Catholic<br>Church Presbytery<br>St. Patrick's Church<br>Hall         | South St.<br>South St.<br>South St. cnr. Grey St. | 2878 | 50082 |
| House   | South St. No. 9                                   | 2896 | 6390  |
| House   | South St. No. 11                                  | 2897 | 10450 |
| Ragged Robin (frm.<br>York Library and St<br>Patrick's Convent)                     | South St. No. 25                                  | 2898 | Done  |
| fmr. Convent of Mercy   | South St. No. 29                                  | 2879 | 50038 |
| House   | South St. No. 46                                  | 4200 | 11080 |

Levels of contribution/Significance of Heritage Places to be completed in conjunction with the Council's Heritage Advisor

## LANDSCAPING AND GARDEN SETTING GUIDELINES

While the policy does not provide controls on the materials used in driveways, paths or the nature of residential gardens, some general guidelines are provided for interested persons.

### Driveways and Paths

Traditional driveways and paths in the Central York and Blandstown Precincts were of local gravel or red clay.

The suggested materials for new driveways in the Heritage Precincts include gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete. Footpaths in gravel and brick paving are suitable for older houses. Brick and concrete paving is suitable for contemporary houses.

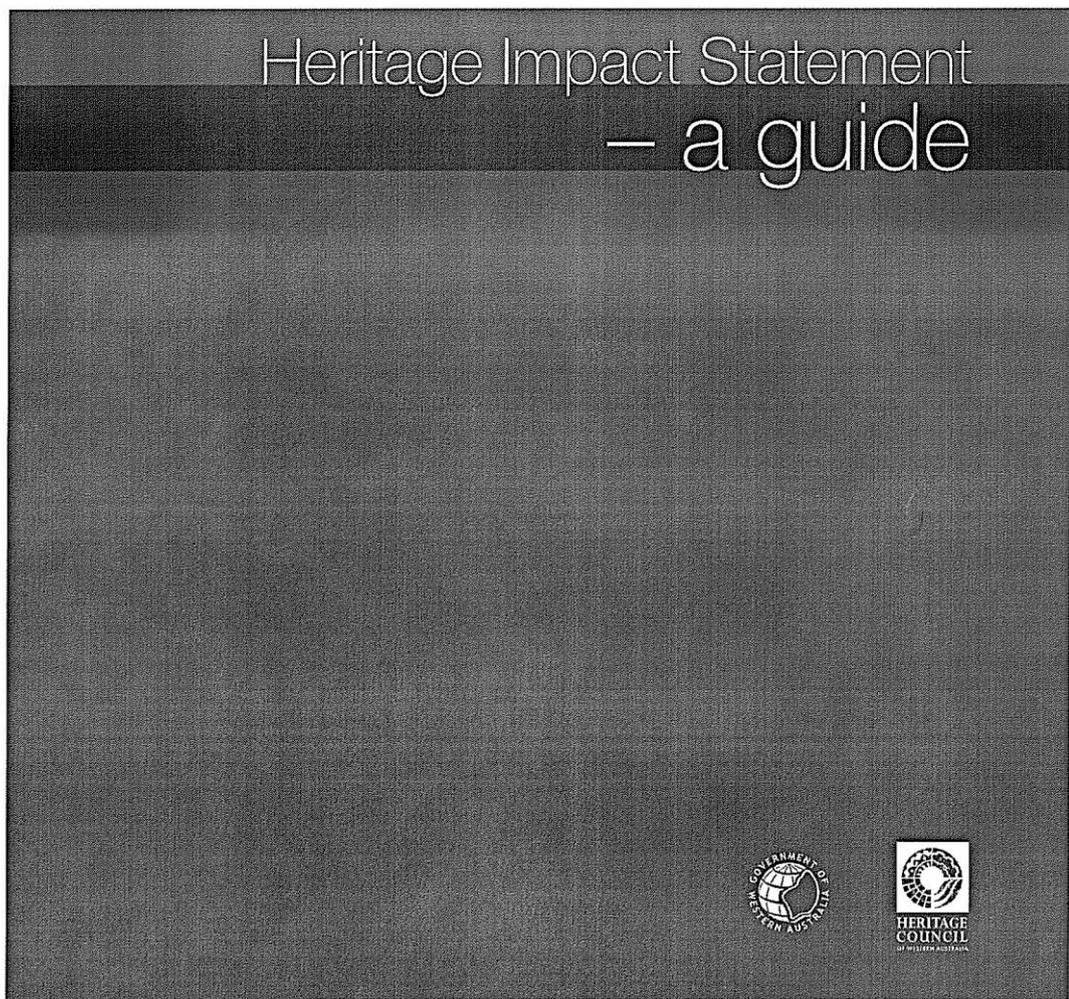
### Gardens

Gardens are a source of delight and an expression of individuality. Remnants of traditional gardens are as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that these be conserved and ideally, new gardens would be designed to integrate with them. Front gardens are an important part of the streetscape and every endeavour should be made to enhance the character of York. Using traditional garden layouts and species that are tolerant of low water usage can also be an effective landscape strategy.

In order to maintain the garden settings of the Blandstown Precinct, the following landscaping principles are recommended:

- Landscaping associated with new development should reflect current 'Waterwise' garden principles, while maintaining a sympathetic approach to their general context. Use of drought tolerant species to encourage water conservation is preferred.
- Significant gardens that reflect their origins and contain authentic plant material should be conserved and integrated with new features in a sympathetic manner.
- Typically gardens in Blandstown area are simply laid out with a central path, lawns, planting beds and specimen tree planting. New gardens should be simply planned with a high proportion of lawn or low native ground covers over garden beds, perimeter beds, central beds and specimen tree plantings in larger gardens.
- Traditional tree plantings include Olive, jacaranda, magnolia, flooded gum, fruit trees and Canary Island Palms in larger gardens. In small gardens, fruit trees including mulberry, almond, citrus and crepe myrtle are common.
- Trees that shed branches, such as Sugar Gums and Lemon Scented Gums, are to be avoided.
- The principles of a traditional garden layout include:
  - Simple format and balanced layout, with less formality in planting.
  - A straight path from the gate to the front door, preferably centrally placed. Alternatively, the path may follow the side boundary and cut across at right angles to the front door.
  - For larger gardens a circular path or driveway with a central feature such as a specimen tree, flower bed or fountain.

- Symmetrical garden layout to match a symmetrical house façade. Asymmetrical facades, i.e. buildings with side verandahs, should be treated differently.
- Garden beds usually small in relation to lawn (or ground cover) area.
- Lawns (or ground covers) planted with specimen trees, including deciduous trees, conifers, fruit trees or eucalypts.
- Planting designed to create variety and year-round interest.
- The common use of climbers, creepers, edging plants, hedges and bulbs.



# Heritage Impact Statements – a guide

## Introduction

This guide explains what a heritage impact statement is, when one is needed, and the level of detail that is needed.

This guide has been prepared to:

- (a) assist people who wish to carry out development that could impact on a heritage place or area; and
- b) assist local governments in considering whether to approve such development.

*Local governments may adapt the document to suit their own circumstances.*

### **What is a statement of heritage impact?**

A heritage impact statement (HIS) describes and evaluates the likely impact of a proposal.

An HIS is a clear and concise account of the proposed work that addresses three basic questions:

- i. How will the proposed works affect the significance of the place or area?
- ii. What measures (if any) are proposed to ameliorate any adverse impacts?
- iii. Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

### **When is a heritage impact statement needed?**

Many local governments encourage proponents to submit an HIS with any development proposal affecting a heritage place.

Whether or not a local government may require an HIS, and the amount of detail expected, will depend on:

- (a) the significance of the place; and
- (b) the likely impact of the proposal on that significance.

For instance, a proposal to partially demolish, or construct an addition to a place that is listed in the highest category in the local Heritage List, will typically require a detailed HIS.

Minor works to a place of lesser significance may not require an HIS at all.

## How is the significance of a place or area determined?

An HIS will always be based on a Statement of Significance for the place, which clearly spells out the identified heritage values.

Typically, this will be drawn from a State Register entry, a Local Government Inventory entry, or a Conservation Plan. If none of these sources exist, it may be necessary for a significance statement to be prepared.

It may also be necessary if an existing statement is very brief and gives little useful guidance about the significance of the place and its fabric.

If a Conservation Plan exists, direct reference should be made to the conservation policies set out in the plan.

## How should a heritage impact statement be presented?

An HIS should be concise.

It should contain a conclusion that addresses the three key questions outlined above (under "What is an HIS?").

In preparing the HIS, it may be useful to address some more detailed questions, such as those **outlined in the table at Appendix 1**. If the Local Government or heritage agency dealing with the proposal has **decision guidelines or planning policy** in relation to the place or area, these should be specifically addressed.

Relevant supporting documentation, where it exists (e.g. a statement of significance, conservation plan or conservation policy, physical condition report or any other consultant's report), should be referred to in the statement and relevant extracts attached. These documents should not simply be repeated verbatim within the HIS.

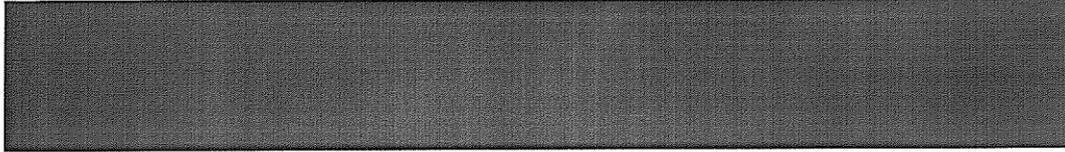
A 'model' HIS is attached as an example of how one can be presented (Appendix 2).



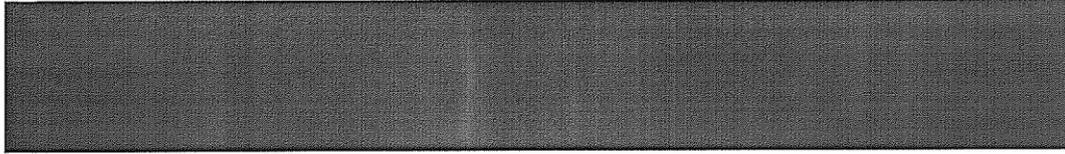
## Appendix One

# Questions to be answered in a Heritage Impact Statement

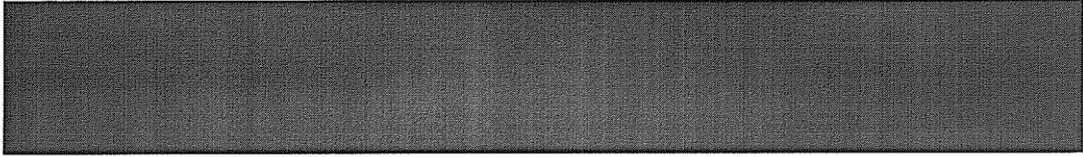
| Proposed Change to Heritage Place  | Some Questions to be Answered in a Statement of Heritage Impact   |
|--|---|
| <p><b>Demolition of a building or structure</b></p> <p><i>NB. Check the Statement of Planning Policy for Historic Heritage</i></p> | <ul style="list-style-type: none"> <li>• Have all options for retention and adaptive re-use been explored?</li> <li>• Is demolition essential at this time, or can it be postponed in case future circumstances make retention and conservation more feasible?</li> <li>• Can any new development can be located elsewhere on the site, so the significant elements of the place can be retained?</li> <li>• Has the advice of a heritage consultant been taken? If not, why not?</li> </ul>                                  |
| <p><b>Minor partial demolition</b><br/>(including internal elements)</p>   | <ul style="list-style-type: none"> <li>• Is the demolition essential for the heritage place to function?</li> <li>• Are important features of the place affected by the demolition (e.g. fireplaces or staircases)?</li> <li>• Is the partial demolition sympathetic to the heritage significance of the place?</li> <li>• If the partial demolition is proposed because of the condition of the fabric, is it certain that the fabric cannot be repaired?</li> </ul>   |
| <p><b>Change of use</b></p>  | <ul style="list-style-type: none"> <li>• Has the advice of a heritage consultant been implemented? If not, why not?</li> <li>• Does the existing use contribute to the significance of the heritage place?</li> <li>• Why does the use need to be changed?</li> <li>• What changes to the fabric are required as a result of the change of use?</li> <li>• What changes to the site are required as a result of the change of use?</li> <li>• Has the advice of a heritage consultant been taken? If not, why not?</li> </ul> |



| Proposed Change to Heritage Place  | Some Questions to be Answered in a Statement of Heritage Impact   |
|--|---|
| <p><b>Minor additions</b></p> <p>(see also minor partial demolition)</p>                                     | <ul style="list-style-type: none"> <li>• How is the impact of the addition on the heritage significance of the place to be minimised?</li> <li>• Can the additional space be located within an existing structure? If not, why not?</li> <li>• Will the additions visually dominate the heritage place?</li> <li>• Are the additions sympathetic to the heritage place? In what way (e.g. form, proportions, design, materials)?</li> </ul>   |
| <p><b>New development adjacent to a heritage place</b></p> <p>(additional buildings and major additions)</p> | <ul style="list-style-type: none"> <li>• How is the impact of the new development on the heritage significance of the place or area to be minimised?</li> <li>• Why is the new development required to be adjacent to a heritage place?</li> <li>• How does the new development affect views to, and from, the heritage place? What has been done to minimise negative effects?</li> <li>• Is the new development sympathetic to the heritage place? In what way (e.g. form, siting, proportions, design, materials)?</li> <li>• Will the new building(s) visually dominate the heritage place? How has this been minimised?</li> <li>• Will the public and users of the place, still be able to view and appreciate its significance?</li> </ul> |
| <p><b>Subdivision</b></p>  | <ul style="list-style-type: none"> <li>• Could future development resulting from this subdivision compromise the significance of the heritage place (e.g. by requiring demolition of part of a heritage building, or by siting new buildings too close to a heritage building)? How are negative impacts to be minimised?</li> <li>• Could future development that results from this subdivision affect views to, and from, the heritage place? How are negative impacts to be minimised?</li> </ul>  |
| <p><b>Repainting</b></p> <p>(Using new colour schemes)</p>   | <ul style="list-style-type: none"> <li>• Have previous (including original) colour schemes been investigated? Are previous schemes being reinstated?</li> <li>• Will the repainting affect the conservation of the fabric of the heritage place?</li> </ul>   |



| Proposed Change to Heritage Place                                | Some Questions to be Answered in a Statement of Heritage Impact   |
|--|---|
| <p><b>Re-roofing/re-cladding</b></p>                             | <ul style="list-style-type: none"> <li>• Have previous (including original) roofing/cladding materials been investigated (through archival and physical research)?</li> <li>• Is a previous material being reinstated?</li> <li>• Will the re-cladding effect the conservation of the fabric of the heritage place?</li> <li>• Are all details in keeping with the heritage significance of the place (e.g. guttering, cladding profiles)?</li> <li>• Has the advice of a heritage consultant or skilled tradesperson (e.g. roof slater) been taken?</li> </ul> |
| <p><b>New services</b><br/>(e.g. air conditioning, plumbing)</p> | <ul style="list-style-type: none"> <li>• How has the impact of the new services on the heritage significance of the place been minimised?</li> <li>• Are any of the existing services of heritage significance? In what way? Are they affected by the new work?</li> <li>• Has the advice of a heritage consultant (e.g. architect) been taken?</li> </ul>  |
| <p><b>Fire Upgrading</b></p>                                     | <ul style="list-style-type: none"> <li>• How has the impact of the fire upgrading on the heritage significance been minimised?</li> <li>• Are any of the existing services of heritage significance? In what way? Are they affected by the new work?</li> <li>• Has the advice of a conservation consultant (e.g. architect) been taken (and if so how)?</li> <li>• Has the advice of a fire consultant been taken as to options that would have less impact on the heritage place (and if so how)?</li> </ul>  |



| Proposed Change to Heritage Place  | Some Questions to be Answered in a Statement of Heritage Impact  |
|--|--|
| <p><b>New landscape works and features</b></p> <p>(including carparking and fences)</p>  | <ul style="list-style-type: none"> <li>• How has the impact of the new work on the heritage significance of the existing landscape been minimised?</li> <li>• Has evidence (archival and physical) of previous landscape work been investigated/ Are previous works being reinstated?</li> <li>• Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented?</li> <li>• Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered?</li> <li>• How does the work impact on views to, and from, adjacent heritage items?</li> </ul> |
| <p><b>Tree removal or replacement</b></p> <p><i>NB: Always check the tree preservation provisions of your local government when proposing the removal of trees</i></p> | <ul style="list-style-type: none"> <li>• Does the tree contribute to the heritage significance of the place?</li> <li>• Why is the tree being removed?</li> <li>• Has the advice of a tree surgeon or horticultural specialist been taken (and if so how)?</li> <li>• Is the tree being replaced and with what species? Why?</li> </ul>  |
| <p><b>New Signage</b></p> <p><i>NB: Check whether the local government has a signage policy or design guidelines</i></p>   | <ul style="list-style-type: none"> <li>• How has the impact of the new signage on the heritage significance of the place been minimised?</li> <li>• Have alternative signage forms been considered (and if not why not)?</li> <li>• Will the signage visually dominate the heritage place or heritage area?</li> <li>• Can the sign be remotely illuminated rather than internally illuminated?</li> </ul>   |

**Appendix Two**

HERITAGE  
IMPACT STATEMENT

**NAME OF PLACE:**

**DATE:**

**PREPARED BY:**

**PREPARED FOR:**

SAMPLE ONLY

**THE PLACE/AREA:**

**PREPARED BY:**

**PREPARED FOR:**

**DATE:**

**HERITAGE LISTINGS:**

**STATEMENT OF SIGNIFICANCE:**

SAMPLE ONLY

The following aspects of the proposal respect or enhance the heritage significance of the place or area, for the following reasons:

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

CONCLUSION:

REFERENCES AND ATTACHMENTS:



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**INTERPRETATIONS & DEFINITIONS**

**Adaptation** means modifying a place to suit the existing use, or a proposed use.

**Amenity** means the liveability of the place that makes it a pleasant and agreeable place in which to live. It refers to accessibility to services and to those things influenced by design.

**Association** means the special connections that exist between people and a place.

**Built Form** means the configuration of the aggregate of all buildings, structures, etc., which make up a town or Shire.

**Bulk** means the combined effect of the arrangement, volume, and shape of a building or group of buildings. Generally refers to structures which in their context appear relatively large.

**Character** is essentially the combination of the public and private domains. Every property, public place or piece of infrastructure makes a contribution, whether large or small. It is the cumulative impact of all these contributions that establishes neighbourhood character. The physical qualities of character in the Central York and Blandstown Heritage Precincts are diverse and include:

- the era of the majority of development;
- the grid subdivision pattern;
- the siting and orientation of development / built form on lots;
- the form and distribution of open space;
- building height, scale and proportion; and
- distinctive building styles, particular design elements, materials and finishes.

**Compatible use** means a use which respects the cultural significance of a place. Such a use involves no, or minimal impact, on cultural significance.

**Conservation** means all the processes of looking after a place, so as to retain its cultural significance.

**Contemporary design** means design styles that are of their time and that do not use the design elements of another time, such as historicism.

**Context** means the specific character, quality, physical, historic and social context of a building's setting and may, according to circumstances, be a group of buildings, a part of a street, whole street, part of a town or the whole town.

**Cultural significance** means aesthetic, historic, scientific, social, or spiritual value, for past or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

**Curtilage** means a defined area that surrounds a dwelling or property, but in the wider sense is the area that defines the limits of a significant place or precinct.

**Development** has the same meaning as is given to it in and for the purposes of the *Planning & Development Act 2005*.

**Fabric** means all the physical material of the place, including components, fixtures, contents and objects.

**Form** means the overall shape and volume of a building and the arrangement of its parts.

**Grain** means the pattern of arrangement and size of the buildings on their lots, and the subdivision pattern. The pattern or arrangement contributes to the texture on an area. Fine Grain is the quality or fine texture resulting from small and frequent subdivisions.

**Heritage Item** means a place, building, work, archaeological site, landscape or garden, or moveable relic, or place of Aboriginal significance identified on a heritage register.

**Historic Character** means the combination of particular characteristics or special qualities of a place related to its period or style of construction. This is generally summed up in the Statement of Significance.

**Historicism** means an excessive regard for past styles and may include copying them, as opposed to using contemporary design.

**Infill** means a new building in an established and valued historic context. Good infill is sympathetic to its surroundings and context, and creates a new structure that enhances and complements the existing character. Infill shall be distinguishable from the existing context but shall look like a well mannered neighbour.

**Interpretation** means all the ways of presenting the cultural significance of a place.

**Maintenance** means the continuous protective care of the fabric and setting of a place and shall be distinguished from repair. Repair involves restoration or reconstruction.

**Meanings** denote what a place signifies, indicates, evokes, or expresses.

**Massing** means the size and volume of a building.

**Mixed Use Development** means the mixing of compatible land uses in a balanced blend, integrated in close proximity to each other. Physically it includes both vertical and horizontal mixing of uses. No single use shall dominate other uses, although residential use is often the major component.

**Place** means site, area, land, landscape, building, or other work, group of buildings or other works, and may include components, contents, spaces and views.

**Preservation** means maintaining the fabric of the place, in its existing state, and retarding deterioration.

**Reconstruction** means returning a place as nearly as possible to a known earlier condition by the introduction of materials, new or old, into the fabric.

**Related place** means a place that contributes to the cultural significance of another place.

**Related objects** mean an object that contributes to the cultural significance of a place, but is not at the place.

**Restoration** means returning the existing fabric of a place to a known earlier state by removing accretions, or by reassembling existing components, without the introduction of new material.

**Scale** means the size of a building or addition and its relationship with surrounding buildings, the existing building in the case of an addition, or the landscape.

**Setting** means the area around a heritage place or item that contributes to and is part of its heritage significance. It may include views to and from the place. The setting may be pristine landscape, culturally modified landscape, gardens and streetscapes.

**Statement of significance** means a summary of those things that are of particular importance in relation to a particular place and tells us why a place has cultural heritage significance. It also guides how a place that is significant may be managed.

**Streetscape** (a) means the total visual impression gained from any one location within a street including the natural and man-made elements; and (b) is made up of the appearance of, and the relationships between, buildings in terms of design, scale, materials, colours, finishes, signs, external furniture, paving materials for roads, footpaths and landscaping.

**Sympathetic or Complementary** means a design outcome that shares the characteristics of the context and while it will not be the same as historic neighbours, will not look out of place amongst them.

**Unobtrusive** means not noticeable, especially when viewed from a public place.

**Urban Form** means the broad shape and structure of an urban community and the distribution of its major features.

**Use** means the function of a place, as well as the activities and practices that occur at such a place.