



## SHIRE OF YORK

# LOCAL PLANNING POLICY

## HERITAGE CONSERVATION & DEVELOPMENT

1. Date Reviewed: XXXX
2. Date Adopted by Council: XXXX
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# CONTENTS

1.0	Introduction	5	PART-4	41
1.1	Authority to prepare and adopt a Local Planning Policy	6	4.1	Extent of Application 42
2.0	Application of Policy	7	4.2	Objectives 42
2.1	Application of Policy	7	4.3	Development Guidelines 43
2.2	Policy Objectives	9	4.3.1	Scale and Size 43
2.3	Structure of Policy	10	4.3.2	Form 44
2.4	The Central York Heritage Area and the York Town Centre Heritage Protection Area	10		Balcony, Verandahs and Awnings 45
				Compatibility of Building Forms 45
				Parapets 46
				Upper Floor Additions to Heritage Buildings 46
				Shopfronts and Windows 47
PART-1			4.3.3	Siting 47
1.1	Heritage Area Overview	12		Front Setbacks 47
	Blandstown Heritage Area	14		Car Parking Location 48
	Central York Heritage Area	16	4.3.4	Materials and Colour 48
1.2	Why are Heritage Areas Important?	20		Walls 49
				Windows and Doors 49
				Roofs 49
				Gutters and Downpipes 49
				Colours 50
PART-2			4.3.5	Detailing 52
2.1	Principles of Development Guidelines	22		Verandahs 52
	General Guidelines	22		Street Facades 52
2.2	Significance of Heritage Places and Contribution of Existing Places to Heritage Areas	23		Windows and Doors 53
2.3	Application Requirements	25		Lighting 53
	Development of Buildings on the State Register of Heritage Places	25		External Fixtures 53
2.4	Demolition of Heritage Places	26		Chimneys 54
			4.3.6	Setting 54
				Paved Areas & Levels 54
				Fences & Gates 55
			4.3.7	Renewable Energy Systems 56
PART-3			PART-5	
3.1	Extent of Application	28		Universal Access
3.2	Objectives	28	5.1	Extent of Application 59
3.3	Development Guidelines	29	5.2	Objectives 59
3.3.1	Scale and Size	29		
3.3.2	Form	31	PART-6	
3.3.3	Siting	32		Heritage Area Signage
3.3.4	Materials and Colours	34	6.1	Extent of Application 61
3.3.5	Detailing	37	6.2	Objectives 62
3.3.6	Setting	38	6.3	Signage 63
3.3.7	Renewable Energy Systems	40		

PART-7	
Public Murals	
7.2 Objectives	71
GLOSSARY	73
APPENDIX 1	76
SHIRE OF YORK HERITAGE LIST (Listed by street name in alphabetical order)	
APPENDIX 2	80
HERITAGE AREA'S MAP OVERVIEW	
APPENDIX 3	81
BLANDSTOWN HERITAGE AREA	
APPENDIX 4	83
CENTRAL YORK HERITAGE AREA	
APPENDIX 5	86
LANDSCAPING AND GARDEN SETTING GUIDELINES	
APPENDIX 6	88
GUTTER PROFILES TYPICAL TO HERITAGE BUILDINGS	

# 1

## Introduction

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The Shire of York was declared a Historic Town by the National Trust of Australia (WA) in 1980 and contains a significant collection of heritage assets. It has much of the charm of an early colonial settlement and retains a significant legacy of buildings of historic and architectural value from the 19th and early 20th centuries.

The Shire's Local Planning Strategy highlights the importance of the cultural heritage significance of Heritage Areas and Places as part of the Shire's built environment, where it is a specific objective to ensure that its heritage values are protected and preserved, and that new development enhances these values.

There are 166 places listed on the Shire of York's Heritage List identified as having cultural heritage significance and worthy of built heritage conservation, and three distinctive Heritage Areas within the Shire of York which are identified as needing special planning control to conserve and enhance the cultural heritage significance of the areas.

The purpose of this policy is to:

- provide development and design guidance within the designated Heritage Areas.
- apply the development control principles contained in State Planning Policy 3.5 Historic Heritage Conservation.
- detail procedures for making applications for development approval for places on the heritage list and Heritage Areas.
- conserve heritage values that are highly valued by the community and retain and enhance those qualities as the town develops through time.
- give property owners and the Shire an understanding of the qualities of heritage values and ensure that additions or alterations to existing buildings and new developments do not diminish the overall significance of the Heritage Areas.

# 1

## 1.1 Authority to prepare and adopt a Local Planning Policy

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Schedule 2, Part 2, Clause 3(1) of the *Planning and Development (Local Planning Schemes) Regulations 2015* (referred as deemed provisions) provides the ability for a local government to prepare a local planning policy in respect of any matter related to the planning and development within its Scheme area.

In accordance with Schedule 2, Part 3, Clause 9(2) it is a requirement in designating a 'heritage area' that the local government adopt a local planning policy including a map showing the boundaries of the heritage area, a statement about the heritage significance of the area, and include a record of places of heritage significance in the heritage area.

## 1.2 Relationship of this Policy to State Planning Policy 3.5 Historic Heritage Conservation & other Local Planning Policies

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If a provision of this Policy is inconsistent with State Planning Policy 3.5 – Historic Heritage Conservation, the State Planning Policy prevails.

This policy prevails in the event of inconsistency with other local planning policies.



Former York Primary School  
Source: Shire of York

# 2

## Application of Policy

### 2.1 Application of Policy

This policy applies to all development within the:

- **Places on the Heritage List as identified in Appendix 1; and**
- **Shire of York Heritage Areas as identified in Appendices 2, 3 and 4.**

In considering any development applications for places on a heritage list or land within a heritage area, including alterations, extensions, modification or demolition of existing buildings, the Shire will apply and have regard to:

- The matters set out in sections 6.5 and 6.6 of the State Planning Policy 3.5 Historic Heritage Conservation.
- Matters and provisions set out in this Policy.
- The level of significance of a place and/or contribution a place makes to the significance of an area.
- The structural condition of a place, and whether a place is reasonably capable of conservation.

The Council may vary the requirements of this Local Planning Policy, where it is considered that such variation is warranted in the circumstances of the case. In application of the policy, interpretations and definitions shall be as set out in the *Planning and Development Act 2005, Planning and Development (Local Planning Schemes) Regulations 2015*, Local Planning Scheme, the Residential Design Codes and this Policy.

The following development is exempt from requiring development approval:

- (a) Dividing fences, where they comply with the provisions of this policy and the following:
  - (i) The fence is not located within the primary street setback and does not abut or adjoin or is located parallel to a public thoroughfare (roads, reserves, pedestrian accessways etc);
  - (ii) The fence is situated a minimum of 2m behind the building line from any public thoroughfare;
  - (iii) The fence is not higher than 1.8m from natural ground level;
  - (iv) The fence is constructed of steel sheeting, local stone, timber picket, picket, red brick or local stone piers;
  - (v) Colours are consistent with the Shire of York colour palette, which can be obtained from the Shire of York council office; and
  - (vi) The fence location does not impede or obstruct any pedestrian or vehicle thoroughfares approved on a property.
- (b) Solar panels and external fixtures in heritage areas on places which are of little to no significance and not visible to streets or reserves;
- (c) On lots developed with a single house, outbuildings less than 12m<sup>2</sup> in area on places which are of little to no significance to heritage areas, are not visible to streets, are less than 2.4m in height and comply with Local Planning Policy: Outbuildings in Residential Zones;
- (d) Satellite dishes, antenna's and/or air-conditioners under the following circumstances:
  - (i) Where it is not affixed to a place on the heritage list or place in a heritage area identified as having exceptional, considerable or some significance to the area; and

- (ii) When in the opinion of the local government, the size, position, or visual impact of the satellite dish, antenna or air-conditioning unit will not have a significant impact on adjoining sites or the general locality; and
- (iii) Where the proposed antenna is visible to the street, the antenna is not larger than required for television reception.

The Shire of York will waive the initial application fee for applications related to:

- Change of colour schemes and painting of previously lawfully painted areas;
- External fixtures including solar panels;
- Fences and gates;
- Outbuildings which comply with Local Planning Policy Outbuildings in Residential Zones;
- Repairs and maintenance which require planning approval;
- Bird Spikes; and
- Any other development at the discretion of the CEO where works are minor, consistent with conservation of heritage values of the place and would otherwise not normally require development approval under the Scheme.

The waiving of fees will only occur in instances where the proposal is considered compliant with provisions of this policy (and other local planning policies) to the satisfaction of the Shire. Fees will not be waived for 'retrospective applications', unless at the discretion of the CEO there are extenuating circumstances that warrant a reduced or waived fee.

General maintenance works and repairs generally do not require development applications. Below are examples of work that doesn't need to be referred:

- Building maintenance that does not involve the removal of, or damage to, the existing fabric of the building or the use of new materials
- Gardening or landscape maintenance that does not involve a major alteration of the layout, contours, structures, significant plant species or other significant features on the land
- Repairs, including replacing missing or deteriorated fabric with like-for-like fabric, that does not involve the removal of, or damage to, the significant fabric of the building
- Replacement of utility services using existing routes or voids that does not involve the removal of, or damage to, the fabric of the building
- Repainting of the surface of a building in the same colour scheme and paint type if they are appropriate to the substrate and do not endanger the survival of earlier paint layers, and without disturbing or removing an earlier paint layer unless it is chalking, flaking or peeling
- An excavation, that does not affect archaeological remains, for the purpose of exposing, inspecting, maintaining or replacing utility services

## 2.2 Policy Objectives

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The primary objectives of this policy are:

- 1. To conserve and protect places of cultural heritage significance and worthy of built heritage conservation as identified in the Shire's Heritage List (Appendix 1);**
- 2. To conserve existing places identified as being of 'exceptional', 'considerable' or 'some' significance; and**
- 3. To ensure that new development, including alterations and additions to existing buildings and the construction of new buildings, does not adversely impact on the cultural heritage values and significance of heritage places and areas.**



St Patricks Presbytery  
Source: Shire of York

## 2.3 Structure of Policy

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This Policy has been structured in a way that provides general guidelines to be observed for heritage places and all designated Heritage Areas and provides development guidelines for residential and commercial developments located within the Blandstown and the Central York Heritage Areas. Specific issues, such as signage, are also covered within this policy. The structure of this Local Planning Policy for Heritage Conservation and Development is as follows:

***Part 1 Overview – Provides an overview of the heritage significance of the areas***

***Part 2 General Guidelines - Development guidelines for heritage places and areas.***

***Part 3 Residential Development- Heritage Area guidelines***

***Part 4 Commercial Development- Heritage Area guidelines***

***Part 5 Universal Access- Heritage Area guidelines for commercial buildings***

***Part 6 Signage - Development guidelines for signage within York Heritage Areas***

***Part 7 Public Murals - Development guidelines for murals within York Heritage Areas***

The policy includes commentary notes in the shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

## 2.4 The Central York Heritage Area and the York Town Centre Heritage Protection Area

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The Shire of York has previously referred to the Central York Heritage Area and the York Town Centre Heritage Area, which was nominated for the continuum of Victorian and Federation period buildings on either side of Avon Terrace.

For the purposes of this policy the York Town Centre Heritage Area is considered part of the Central York Heritage Area and in order to reduce confusion, reference will be made only to the Central York Heritage Area.

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# PART-1

## Overview

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### 1.1 Statement of Significance

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*The Noongar group north-east of Perth are the Ballardong people. The Ballardong Noongar region includes the towns of Northam, York, Beverley, Goomalling, Cadoux, Koorda, Wyalkatchem, Goomalling and Cunderdin, with Kellerberrin and Merredin further to the east and south-east to the town of Bruce Rock, Narembeen, Hyden, Kondinin, Kulin, Dumbleyung, Kukerin, Lake Grace and Varley. The Ballardong Noongar people have lived in the York area for thousands of years and believe that at York you can see where the Waugal (Rainbow Serpent; from Ballardong Noongar Dreaming) left a track when he came over the hill.<sup>1</sup> Nearby Archaeological evidence at a culturally significance site dates to between 30,000 and 40,000 years old.<sup>2</sup>*

*The townsite of York was gazetted in November 1830, and the first settlers moved into the area the following year. By 1832, hostility between the Ballardong people and Europeans increased as more explorers arrived in the Avon Valley area. As Europeans expanded their number of sheep and crops, the Ballardong people were deprived of their water holes and hunting grounds. The settlers demanded that soldiers were posted at York to protect them from the increasing conflict.<sup>3</sup> An outpost was established and Ballardong Noongar resistance to European settlement forcefully suppressed.<sup>4</sup> The first town allotments were sold in 1835. York was one of the earliest rural settlements and the first inland town of the Colony and developed as the service and administrative centre for the Avon Valley. A convict depot was established for the town in 1851. It helped the local economy and provided labour for public works. In 1871, York was declared a municipality; the fourth largest town in the state, behind Perth, Fremantle and Albany.*

1 <https://yorkfestival.com.au/about-york/history/> (accessed 20 July 2020)

2 <https://www.noongarculture.org.au/northam/> (accessed 20 July 2020)

3 S. Hallam and L. Tilbrook, *Aborigines of the Southwest Region 1829-1840; The Bicentennial Dictionary of Western Australians* Volume VIII, University of Western Australia Press, 1990, p. xv.

4 D. Garden, *Northam, An Avon Valley History*, p 49.

***York was declared a Historic Town by the National Trust of Australia (WA) in 1980. York retains a significant legacy of buildings of historic and architectural value from the 19th and early 20th centuries. The Blandstown and Central York Heritage Areas comprise areas east of the railway line with an extension over the Avon River.***

***The substantial representation of Colonial, Victorian and Federation residential, commercial and civic buildings within the Blandstown and Central York Heritage Areas provides a significant historic environment that informs of the foundation to the background of the town. The majority of the of the area excluding the special precincts, presents a predominantly single storey residential setting of similar scale, materials, roof forms and the site application, with a varying degree of heritage significance.***

***The cumulative effect of the scale, massing, texture, materials, colour and detail of individual buildings and their sites provide visual characteristics which have formed in distinctive periods from the early town establishment in the 1860s and 1870s, through to the twentieth century, clearly demonstrating the aesthetics of the periods.***

## Blandstown Heritage Area

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After York was opened for selection in 1830, the first settlers arrived in 1831 from the Swan River settlement with the task of establishing a Government Farm. Balladong Farm was settled in 1831 by William Heal, later H. Bland after whom Blandstown is named. Stephen Stanley Parker purchased Balladong Farm in 1848. During the 1850s, Parker developed the property into a very successful farm.

The Blandstown Heritage Area has significance for the following reasons:

- ***Blandstown Heritage Area represents historical associations with Revett Henry Bland, Governor Stirling's appointee to the district and the original owner of the land that the Parker family later owned and developed as Balladong Farm and facilitated the village that developed as Blandstown.***
- ***Blandstown Heritage Area demonstrates the development of an early colonial settlement dating from the 1850s retaining some of York's earliest dwellings and other buildings representing ways of life and commercial enterprises of this early inland town.***
- ***It has the potential to yield valuable archaeological, physical and documentary information that will contribute to an understanding of the cultural heritage of Western Australia, particularly in relation to early farming practices and the relationship between the farm and the broader rural community.***
- ***Blandstown is a unique cultural environment, in Western Australia's earliest inland town, that has retained a high degree of intactness and authenticity and makes a considerable contribution to the historical aesthetic of York.***



Wheeler Brothers' House c1860s  
4 Wheeler Street, York  
Source: SCA June 2020

The “village” now known as Blandstown, is the oldest privately settled part of the York town. The area was developed around Balladong Farm due to the influential presence, water supply, and the river crossing. The area is **characterized by homesteads, single and two storey dwellings**, some with **connected businesses**. Along Avon Terrace, residences tend to have **narrow setbacks** and buildings are often grouped with **open land** separating areas of development. Residences are predominantly constructed of **face brick** or **rendered masonry**; however, there are examples of timber framed **weatherboard** buildings. **Corrugated steel roof sheeting** is used consistently to buildings. **White picket fencing** is often used to the front boundaries and **mature landscaping to front gardens** influence the area.

A number of commercial buildings mark the entrance to the Blandstown area from Balladong Street and Great Southern Highway. **Parapet walled facades, zero setbacks and verandahs over street footpaths** characterise these buildings and link with the York town centre.



8 Wheeler Street, York  
Source: SCA June 2020



Village cobbler workshop (1880) adjacent to  
Bygrave House  
5 Knotts Road, York  
Source: SCA June 2020



Langsford House c1873  
18 Avon Terrace, York  
Source: SCA June 2020

## Central York Heritage Area

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The townsite of York was gazetted in November 1830, and the first settlers moved into the area the following year. The first town allotments were sold in 1835. York was one of the earliest rural European settlements and the first inland town of the colony and developed as the service and administrative centre for the Avon Valley. A convict depot was established for the town in 1851 which helped the local economy and provided labour for public works. In 1871, York was declared a municipality; the fourth largest town in the state, behind Perth, Fremantle and Albany.

In 1881, the Eastern railway from Fremantle to Guildford opened and extended to York by 1885. With the discovery of gold in the early 1890s, York became a terminal for prospectors heading for Coolgardie and Kalgoorlie and a supply point for mail, food and water. The growth of the town and the district continued due to the general prosperity created by the gold boom and the agricultural expansion that followed in the first decade of the twentieth century.

The Central York area developed north of Blandstown and west of the Avon River, with JH Monger being the prominent identity of what was referred to as Mongerstown. The Central York Heritage Area comprises predominately single storey residential and commercial buildings through the Avon Terrace spine and on the north and west edges.

The dominant town centre of Avon Terrace within the Central York Heritage Area comprises a number of substantial two storey commercial buildings that form a continuum of late 19th and early 20th buildings along both sides of Avon Terrace between Macartney and South Streets.



Avon Terrace, York  
Source: Wink and Blink Photography 2011

The Central York Area is significant for the following reasons:

- *Central York Heritage Area represents the broad social and economic changes from the mid-nineteenth century in the remaining intact physical and cultural environment contributing to an understanding of the development of York.*
- *The landmark buildings within the Central York Heritage Area demonstrate the optimism of York with the exceptional York Town Hall, Imperial and Castle Hotels; the government infrastructure of the railway station and original primary school; the landmark York Mill, Mongers Trading Post, the convent, Catholic school, Catholic Church group; and the Avon Terrace Centre make an outstanding contribution to the historic aesthetic of York.*
- *The cumulative effect of the scale, massing, texture, materials, colour, and detail of individual commercial and residential buildings, inform of the distinctive periods and architectural styles from early town establishment in the 1860's and 1870's, the boom period of the 1890's Federation style, developments during the early 1900's and the prosperous surge in the late 1930's and later decades.*
- *Central York Heritage Area epitomises the development of the York town, retaining the integrity and authenticity with a continuum of function, and a community pride and sense of place that celebrates the cultural environment that is York.*



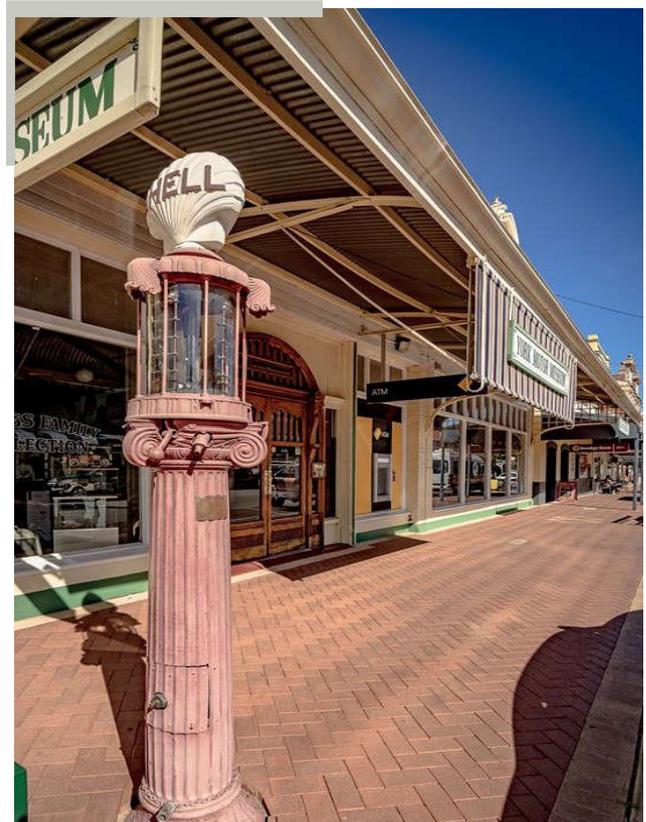
York Mill  
Source: Shire of York

- *The Central York Heritage Area represents the development of York in the outstanding Avon Terrace street block along both sides, with a continuum of single and double storey commercial buildings of the Victorian and Federation periods, book-ended by double-storey landmark buildings.*
- *The Central York Heritage Area is of considerable significance for the distinctive features of the architectural styles and periods of the buildings and their functions.*
- *The existing original fabric of the architectural styles and periods of the buildings, for the most part, has retained its integrity and authenticity and is significant in demonstrating its association with early European development of the town of York, and the period after the 1885 railway, with a range of substantial premises that demonstrate the prosperity of the York.*
- *The range of owners, entrepreneurs, managers, and functions of the places within the area represent associations with generations of local identities, townsfolk and farmers from the York region.*
- *The Central York Heritage Area includes an entire block of continuous substantial buildings on both sides of Avon Terrace which represents the long-term value of the community's sense of place for its continued role as the town's social, business and retail centre and in more recent decades, the significance of tourism attraction to York.*



York Town Hall  
Avon Terrace, York  
Source: Shire of York

**Avon Terrace** between **Macartney and South Street** forms the spine of the **Central York Heritage Area**. The area comprises **substantial two storey late 19th and early 20th century commercial buildings**. The scale and density of two storey and commercial buildings reduces away from this section of Avon Terrace and **single storey residential** buildings become more prominent. **Landscaping** and **natural vegetation** breaks up the streetscape. **Stone, face brick, rendered masonry corrugated steel** and **timber** are common building materials used throughout the area. Around the town centre, the streetscape pattern has narrow building line setbacks. **Visually permeable fencing styles** are common. **Cottage gardens** to dwellings are typical and large gardens are particularly prominent to properties located to the west of the railway line. The Central York Heritage Area topography slopes from a high to the west to the river plain to the east. **Mature vegetation** blends dwellings into their surrounds near the river plain.



Avon Terrace street view  
Source: Shire of York 2020

## 1.2 Why are Heritage Areas Important?

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Heritage places provide ties to the past and contribute to informing a sense of place. The significance of an individual place can be compromised by poorly designed new development or unsympathetic additions to existing buildings. Incorporating new buildings and additions into a heritage area requires careful consideration and analysis to identify the relevant elements of the overall significance and the specific heritage values that must be respected.

Design elements that can influence development in a heritage area include:

- **landform;**
- **distinctive landscape elements;**
- **the pattern of subdivision;**
- **date and style of buildings;**
- **scale and form of buildings;**
- **building setbacks;**
- **materials, building techniques and details;**
- **views, vistas and skylines; and**
- **the building use.**

Unsympathetic development refers to buildings that are too large in scale (both height and mass), lack sufficient surface articulation, and/or are presented in colours that are out of place with their surroundings. These characteristics should be discouraged.

A building's aesthetic is also shaped by the relationship between the proportion of solid to void in walls, or the amount of window contained by a wall, together with the play of light, shadows, and the proportion of openings in walls.

The Local Planning Policy for the Blandstown and Central York Heritage Area is based on the primary elements that contribute to an area – scale or size, form, siting, materials and colours, and detailing. Examples are also provided of existing harmonious or sympathetic developments that respond to these primary elements in an acceptable manner.



Faversham House  
Source: SCA June 2020



Imperial Hotel  
Avon Terrace, York  
Source: Shire of York

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# PART-2

## General Guidelines

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All development to a Heritage Place or within a Heritage Area shall comply with the policy provisions outlined in this part.

- a. All development shall enhance and reinforce the heritage significance of the place and/or area.*
- b. All new development to Heritage Places and in Heritage Areas shall respect their historic context and respond to the existing, scale, form, siting, material, colours and detail in accordance with the provisions of the Burra Charter.*
- c. New buildings shall not be direct copies of heritage buildings and should be visually distinguishable from them. It is important to distinguish between heritage and new places so that heritage values are not diminished by replication.*
- d. Buildings should be sited to respect the existing pattern of development of Heritage Areas, with buildings set squarely on lots and front and side setbacks which mirror the scale of the streets, providing that the location takes into consideration energy efficiency standards and requirements under the Building Code of Australia.*
- e. Heritage buildings shall be retained and conserved.*
- f. New construction, demolition, intrusions or other changes that would adversely affect the setting or relationships within the heritage area are not appropriate.*
- g. Historic outbuildings such as stables and sheds often form an integral part of the heritage landscape and should be conserved where practicable.*
- h. Additions to Heritage Places must ensure that they do not visually intrude on the existing building or street context and that they are in sympathy with the character of the existing property. Additions should be distinguishable from the original building and the distinction may be subtle if desired.*

## 2.2 Significance of Heritage Places and Contribution of Existing Places to Heritage Areas

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Individual places included within the Shire of York Heritage List (Appendix 1) are allocated a level of significance. The following table provides a description for each level of significance and the desired conservation outcome.

Appendix 3 and 4 provides detail on individual places included in the Blandstown and Central York Heritage Areas, outlining their level of significance and contribution to the area.



Macartney Street York  
Source: SCA 2020

LEVEL OF SIGNIFICANCE	DESCRIPTION	OUTCOME
<b>A. Exceptional Significance</b>	Essential to the heritage of the locality. Rare or outstanding example.	The place should be retained and conserved. Any alterations or extensions should reinforce the significance of the place, and be in accordance with a Conservation Plan (if one exists for the place).
<b>B. Considerable Significance</b>	Very important to the heritage of the locality. High degree of integrity/authenticity.	Conservation of the place is highly desirable.  Any alterations or extensions should reinforce the significance of the place.
<b>C. Some Significance</b>	Contributes to the heritage of the locality/area. Has some altered elements, not necessarily detracting from the overall significance.	Conservation of the place is desirable. Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible. Interpret an existing site, ruin or archaeological remnants.
<b>D. Little/No Significance</b>	May have some elements of historical interest but otherwise minimal.	Any development, demolition or new build must respond to the immediate historical context and overall heritage significance of the area.

The level of contribution that each place makes to a heritage area is detailed in **Appendix 3 and 4**.

## 2.3 Application Requirements

The Shire of York may require an applicant to provide one or more of the following to assist the local government in the determination of its application. This is in addition to the requirement for accompanying material set out in Clause 63 of Part 8, Schedule 2 of the deemed provisions for local planning schemes (*Planning and Development (Local Planning Schemes) Regulations 2015*).

- a. A Heritage Impact Statement, consistent with the provisions of Clause 11 of Part 3, Schedule 2 of the deemed provisions for local planning schemes, if a proposal will have a substantial impact on the exterior fabric of a place of considerable contribution or some/moderate contribution, the Shire may require a heritage impact statement (in a format consistent with the Heritage Council of Western Australia standards) to be submitted addressing three main questions:

- how will the proposed works affect the significance of the place and area?
- what alternatives have been considered to ameliorate any adverse impacts?
- will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

If a proposal affects a place that is entered in the State Register, or a large or complex place of considerable significance, the Shire may require a Conservation Management Plan or a Conservation Management Strategy to be prepared. Such cases will be rare.

- b. Streetscape elevations drawn as one continuous elevation to a scale not smaller than 1:100 showing the proposed development and the whole of the existing development on each lot immediately adjoining the land the subject of the application.

- c. A detailed schedule of all finishes, including materials and colours of the proposed development.
- d. A description of the finishes of the existing developments on the subject lot and on each lot immediately adjoining the subject lot.
- e. A Structural Condition Assessment in the Case of Demolition. If structural failure is cited as a justification for the demolition, evidence should be provided from a registered structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significance fabric and/or prohibitive costs.

Council retains the right to seek independent advice from a structural engineer, heritage architect, the Heritage Council of Western Australia and/or the Heritage Advisor, on development proposals or applications for demolition. The Council also retains the right of passing on the costs of obtaining such advice to the applicant.

### Development of Buildings on the State Register of Heritage Places

Any new development to a place on the State Register of Heritage Places may be discussed and negotiated with the Heritage Council of Western Australia and Shire of York prior to the submission of a development application.

Development proposals affecting places on the State Register must be referred by the Shire of York to the Heritage Council for advice as per the *Heritage Act 2018*.

## 2.4 Demolition of Heritage Places

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The demolition of a place included on the Heritage List is rarely considered appropriate and is not likely to be supported by Council. Applications for demolition of a place on the State Register of Heritage Places will be referred to the Heritage Council of Western Australia for advice prior to Council's determination as required by the *Heritage Act 2018*.

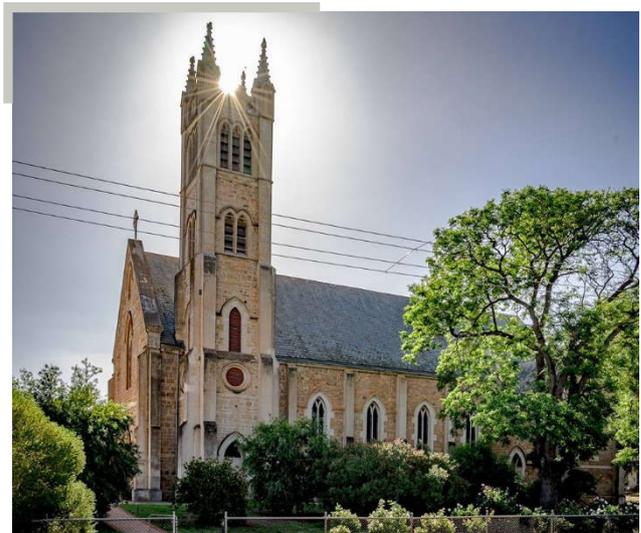
Demolition of a Heritage Place should be avoided wherever possible. An application to demolish a heritage place must include clear justifications for the demolition and should be based upon the following:

- a. The significance of the building or place***
- b. The feasibility of conserving or adapting it or incorporating it into new development;***
- c. The extent to which the community would benefit from the proposed development; and***
- d. The provisions of this Local Planning Policy.***

Council is unlikely to support the demolition of a heritage place based solely on the economic viability of redeveloping a site or because a building has been neglected.

If structural failure is cited as a justification for the demolition of a place of considerable significance or some/contributory significance, evidence should be provided from a professional structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significance fabric and/ or prohibitive costs. The Shire may choose to also engage a structural engineer as a secondary opinion.

Where Council supports the demolition of a heritage place, the applicant may be required, as a condition of approval, to submit an archival record of the place prior to the demolition occurring. The archival record is to be in accordance with the Heritage Council of Western Australia standards for archival recording.



St Patrick's Catholic Church, Presbytery & Hall  
22 South St York  
Source: Shire of York

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# PART-3

## Residential Development

### 3.1 Extent of Application

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These development guidelines within this part shall apply to all residential development, including new buildings, extensions, alterations, additions or modification of existing buildings within the Blandstown and Central York Heritage Areas. Where development includes a commercial component, the Policy Guidelines contained in Section 4 shall also be considered.

All residential development within a Heritage Area shall comply with the Residential Design Codes except where there is inconsistency between the Residential Design Codes and the provisions of this Policy and the Scheme, at which time, the Scheme and Policy shall prevail.

Individual heritage buildings not included within York Heritage Areas shall also have due regard for this policy.

### 3.2 Objectives

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- a. To facilitate residential development that respects the existing heritage significance of the area;***
- b. To ensure that all new residential buildings, alterations or extensions to existing dwellings are sympathetic to the predominant form, siting and appearance of existing and neighbouring buildings and the streetscape;***
- c. To maintain the heritage value of significant buildings and streetscapes.***

### 3.3 Development Guidelines

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The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and context for the policy provisions and should be read in conjunction with the policy.

#### 3.3.1 Scale and Size

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##### **Explanatory-**

The scale of a building is its size in relation to its context, either as part of an existing house, existing neighbouring buildings or landscape, or a combination of these. The resulting development proposal should look as if it belongs to the area in terms of scale. Scale is one of the prime determinants of an area's character, and if scale is not correctly determined, there is little prospect of correcting the negative impact of an out-of-scale development. The use of tree and shrub plantings to hide over-scale buildings is rarely successful and should not be relied upon as a correction tool.

Most dwellings in the Heritage Areas are single storey. The pattern of arrangement and size of buildings in the Blandstown and Central York Heritage Area is an important part of its character and this varies little from street to street. The street layout and subdivision pattern provide a strong influence in scale through the width of streets and the frontage of blocks to those streets.

Further subdivision can alter this aspect of scale and for this reason, any applications for subdivision within the Areas will be carefully scrutinised by the Shire prior to any recommendation made to the Western Australian Planning Commission.

The size of additions or extensions to existing buildings is also important and must comply with the same principles. Additions should not be more imposing than the original building. For verandah restorations, look for evidence of what may have been removed before planning a replacement and in the absence of evidence, ensure that the design approach matches the style for the period of construction of the place. Verandahs typically have a 15 degree minimum pitch. New additions may also continue the same line of the roof.

## Policy-

The scale of all residential development must respect:

- (a) *The scale of adjoining and nearby buildings in the street;***
- (b) *The surrounding landscape; and***
- (c) *The scale of the existing building, in the case of additions, extensions or modifications.***

Note: The current Residential Planning Design Codes over Blandstown is R40, where sewer is available and other lots are zoned R10 or General Agriculture. Development at this scale/density may in certain circumstances be incompatible with conservation of the heritage area, and the design criteria and the objectives for a development with an R10 density should be favoured.

Two storey buildings will only be supported if the property is zoned R40 or above and the proposed scale is considered sympathetic to its surrounds, with other two storey buildings in the streetscape.

On lots less than the R40 density, residential development shall maintain the appearance of a predominantly single storey streetscape. A second storey may be permitted where:

- (a) *the additional storey is situated under the natural ground level at the street, due to the slope of the land and without the need for substantial cut and fill;***
- (b) *Where the bulk of the second storey is situated towards the rear of the building, or***
- (c) *Where there is evidence that the below ground storey is demonstrated to be protected from inundation.***

Other architectural design techniques, such as the articulation of long walls into bays, the arrangement of openings and fragmenting roof forms, should be considered to reduce the scale of larger buildings.

All development must be sympathetic to the existing land contours and natural features. No more than 500mm of cut or fill may be permitted as part of any residential development, unless such cut or fill is to match the height and scale of an existing building. Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development warrant higher retaining walls. No filling shall be permitted on the Avon River flood way.

Verandah roof pitches are to be in keeping with existing roof lines. If roof pitches are to differ from the existing context then the proposed pitch must not dominate the streetscape.

### 3.3.2 Form

#### Explanatory -

The form of the building is its overall shape, size and the general arrangement of its main parts. Residences in the Heritage Areas have been simple and generally rectangular in form, with steeply pitched roofs. Although other features can be disguised or concealed, roof lines will remain prominent, especially on a hillside.

Residential development in Central York and Blandstown Heritage Areas should be sympathetic to the predominant form of the neighbouring dwellings and existing building, in the case of additions and modifications. Where a building form is highly repetitive, such as in the smaller scale streets of the Blandstown Heritage Area, significant departures in form will appear at variance to the streetscape. New buildings in highly cohesive streetscapes should not interrupt that cohesiveness of form.

The treatment of the façade in terms of the proportions, materials, number of openings, ratio of window to wall etc. will also affect how a new building relates to its neighbours and how an addition relates to an existing building. Symmetrical facades with centrally located front doors are commonly featured in the Blandstown Heritage Area and this motif can be repeated for new buildings.

#### Policy -

All residential development shall respond to and reinforce the existing characteristics of a streetscape or neighbourhood with regard to building appearance, plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.

Roof lines typically are hipped or gabled and have a minimum slope of 25 degrees. Likewise, eaves tend to have 300mm wide overhangs. Skillion or parapet roof forms; however, may be deemed appropriate if the roof form is designed to be sympathetic to the surrounds and does not dominate the streetscape.

Window and door openings should have a vertical emphasis, which means long and narrow in appearance.

Additions, extensions and modifications to existing buildings shall not be more visually imposing than the original building. Front facades should not be extended forward of the existing building.

Additions, extensions or modifications can appear contemporary but shall respect and integrate with the roof line of an existing building. Second storey additions should be located behind the ridge line of the original to minimise the visual impact on the streetscape.

Council shall set the minimum floor levels in the areas within the 100-year flood event limit in consultation with the Department of Water to take into account the likelihood of inundation, the streetscape, accessibility and other factors.

### 3.3.3 Siting

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#### **Explanatory-**

The character of an area is influenced by a building's location in relation to the lot boundaries and front setbacks. New buildings constructed in a historic context should be sympathetic and generally consistent with the local streetscape and the predominant front and side setbacks of the streetscape should be maintained. The adjoining properties in a streetscape provide the best guide as to the correct approach for the siting of new buildings. The siting, size and construction of front fences is also important and this subject is addressed under style and material.

Buildings in Blandstown are set parallel to, and address the street. New buildings should be oriented in the same manner with the principal elevation and entrance facing the street. Front setback patterns, where they exist, should be repeated, irrespective of the prevailing residential density code provisions. Usually houses on smaller lots in narrow streets have small front setbacks and houses on larger lots in wider streets have greater front setbacks.

Most of Blandstown was developed before motor vehicles became popular. Garages and carports are not a traditional feature in the area and should not become a dominating feature in the streetscape.

Extensions to existing buildings should respect the existing siting patterns and be located so as to avoid giving them undue prominence.

Consideration must be given to Federal and State objectives for energy efficiency in relation to siting.

Guidance in this regard can be taken from the DPLH/HCWA publication:

<https://www.dplh.wa.gov.au/getmedia/e07266fc-1d0b-4169-8375-f7db61bbd448/HER-Renewable-Energy-Factsheet-2019>

## Policy-

For new residential development and additions, extensions or modifications to existing residential dwellings shall be located parallel to the street and shall observe any established front and side building setbacks of the neighbouring properties in the street.

Entries to a dwelling shall be at the front of the dwelling or be an obvious feature when viewed from the street. Entries which are central to a facade are encouraged. A blank wall facing the street is unacceptable.

All garages and carports shall be designed to have a minimal visual impact on the streetscape. Where side or rear access is available, vehicular access should be provided from these points and parking area, including garages and carports, located accordingly.

Garages will not be permitted in front of the building line. A carport can be located in front of the building line of an existing dwelling if it cannot be located on any other part of the property. Carports located in front of the building line must not obscure the front elevation of a building and their width shall not exceed 30% of the building frontage.

Car parking areas in new residential development can be incorporated into the design of a new house and should be setback from the primary street in line with or behind the building line of the proposed dwelling. Garages and carports located in front of the building line must not obscure the front elevation of a building and their width shall not exceed 30% of the building frontage.



12 Thorne Street, York  
Source: SCA 2020

Note: These policy requirements relate to the location of parking areas. Further requirements on the design and appearance of garages and carports are included in the Materials and Colours section.

### 3.3.4 Materials and Colours

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#### Explanatory-

Residential buildings in the Heritage Areas use a variety of materials, which relate to the historic phases of development of the town. These materials, textures, colours and decorative treatments are important elements of character and significance.

Residential development, including garages, carports and outbuildings, should use materials, textures and colours that relate to the building context.

While it is not necessary or desirable to copy the existing patterns in every detail, the use of similar materials and colours assists with developing harmony in the streetscape. Modern materials are not precluded, providing their proportions, textures, details and colours are sympathetic with the surrounding context and are not in sharp contrast. The quality of new materials should be equal with those of existing buildings.

When restoring or repairing heritage places, replacement materials should match like-with-like where possible. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. If the original detailing is not known then simple alternatives should be considered. 'Conjectural reconstruction' - that is guessing what it might have looked like - should be avoided. Rendering or painting existing brick in older buildings will cause the brickwork to deteriorate and is a poor maintenance strategy.

Although weatherboard buildings are comparatively rare in the heritage area, new timber framed buildings are permitted. When restoring timber framed houses, new materials should match the original. Timber framed extensions are also permitted for existing brick buildings.

Traditional colour schemes in the Heritage Areas feature several colours in combination. Rendered walls would have been left unpainted or were painted natural tones of cream or stone. Window and door frames are a combination of dark and light colours, which generally contrast the base colour of material of the external walls.

## Policy-

The acceptable materials for new residential buildings, including outbuildings, garages and carports and additions, retaining walls, extensions or modifications to existing buildings are as follows:

### (a) Walls

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated steel or mini orb profile walls in a galvanised or painted finish are generally not supported on front facades. These materials are appropriate for side and rear walls, outbuildings, carports and garages.
- The use of limestone materials in retaining walls will not be permitted unless it is consistent with existing development.
- Depending on the scale and height of the retaining wall it is recommended that the proposed materials used shall be in keeping with or sympathetic to those materials which have been historically present in the area. The use of brick, rammed earth, natural stone and render is acceptable.

### (b) Windows and doors

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Timber to match the existing materials being replaced or the period of development for residential places being restored.

### (c) Roofs

- Galvanised corrugated steel roof sheeting is generally required for heritage buildings, particularly places of the State Register of Heritage Places.
- To be in keeping with the material palette of the area, galvanised corrugated steel roof sheeting is preferred however other roof sheeting profiles and colours may be appropriate in some instances.
- Clay tiles can also be used if appropriate to the location.

(d) Gutters and Downpipes

- Gutter profiles such as Half Round, Ogee, Colonial, Quarter Round gutters are typical to heritage buildings within the area. Please refer Appendix 6 for these typical gutter details. New gutter profiles should be in keeping with existing gutter profiles and appropriate to the building context.
- Round down pipe profiles are likewise typical to heritage buildings within the area. Downpipe profiles should be in keeping with existing profiles and appropriate to the building context.

The colours to be used in all residential development will have regard to the following criteria:

- (a) The colours used in an existing building and in neighbouring properties in the streetscape;
- (b) Colours selected from heritage ranges will generally be acceptable. Guidance may be taken from the colour palette available for viewing at the Shire of York offices. Darker colours are generally used on details and trims, lighter colours are more commonly used on larger areas such as walls and roofs;
- (c) For new buildings, sympathetic modern colours may be acceptable;
- (d) Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate; and
- (e) The use of bright or garish colours in large areas visible from the street is not permitted.
- (f) Galvanised roof sheeting, gutters and downpipes are typical to heritage buildings within the area and this is therefore encouraged. Coloured steel profiles may be deemed appropriate in some locations.

The colours to be used in heritage places, including places on the State Register of Heritage Places and the Shire of York Heritage List, should be based on the original colours used in the building based on paint scraping where possible.

Garages and carports shall be designed to have a minimal impact on the streetscape and shall be constructed to consider the following:

- (a) The garage or carport should be built to reflect the style of the existing or proposed house, but not be so elaborately detailed as to detract from the house. The design should be sympathetic to the style of the house without copying the detailing used on the existing or proposed house;
- (b) Roof form, materials and pitch should be the same as the existing house. Walls and/or piers should match existing brickwork or render as closely as possible;
- (c) Timber posts used in a carport should respond to the style of the verandah posts on the house. Timber decoration may be used to relate the new structure to the existing or proposed house, but should not make the garage or carport more important than the house;

- (d) The materials and colours of garage doors should not detract from the heritage significance of the Heritage Area; and
- (e) Where the side wall of a garage faces a street it shall be designed and treated in such a manner that it presents an articulated and detailed facade to the street.

### 3.3.5 Detailing

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#### **Explanatory-**

Understanding traditional detailing can assist to inform sympathetic development. Detailing across each period of development was fairly consistent such as the approach to chimneys, verandahs, doors and windows. Modern buildings are generally more simply designed than buildings in the historic context. This difference in approach to detailing in modern buildings can disrupt the harmony of a historic streetscape; however, using a sympathetic approach to the design and detailing of residential development can help create relationships between the new and old. Modern design features can reinterpret traditional details and contemporary detailing can provide visual interest that contributes to the character of the place.

Many residential buildings in the area have or have had front verandahs. Restoring a verandah to its original form can enhance the appearance of a place and the streetscape. Verandah details, such as timber fretwork, iron lacework and turned posts, provide important elements of decoration on traditional buildings; however, conjectural reconstruction, where traditional detail is included without reference is discouraged.

Other decorative elements include gables, lead lights and rendered corbelling on chimneys. Early York homes are characterised by tall brick chimneys with decorative corbelling (brick protrusions near the top of the chimney, commonly with decorative render).

The proportions and shapes of windows and doors give traditional Blandstown Heritage Area buildings a vertical emphasis. Their positions and relative size on a building façade are important components of the streetscape. The styles of windows and doors vary according to the date of construction however their position, proportions and shape remain relatively constant.

## Policy-

Decorative detailing should be used sparingly on new residential development and additions, extensions and modifications to existing buildings. New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate for the date of construction of the building.

New chimneys, where required, shall be consistent with existing chimneys and where no reference they should be tall, extending beyond the maximum height of the roof at any point.

The style of a replacement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary evidence regarding the original verandah, a simple replacement verandah without elaborate decoration should be used. Reinstatement of missing decorative detailing on existing buildings is encouraged. Conjectural reconstruction (introducing detail with no documentary or physical evidence) is to be avoided.

The original door or window openings on an existing building are to be maintained. Where a door or window needs replacing, it is preferable to use like for like for replacement.

Windows and doors in new buildings should not be copies of traditional styles. Where windows are visible from the street, they shall be simple timber-framed or powder coated aluminium-framed windows with proportions reflecting traditional openings. Some details may be adapted to allow buildings to harmonise with the traditional streetscape, such as using a slight arch of vertical brickwork over the window.

### 3.3.6 Setting

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#### Explanatory-

The treatment of front setback area to primary and secondary streets has a significant impact on streetscape. Fences and gates in the Heritage Areas generally reflect the rural atmosphere of the town and few existing houses in the area have substantial front fences.

Traditional driveways and paths in the Blandstown Heritage Area were of local gravel or red clay. Front gardens are an important part of the streetscape and remnants of traditional gardens can be as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that, where possible, these be conserved and ideally, new gardens would be designed to integrate with them.

Suggested materials for driveways and paths in residential area are gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete.

**Policy-**

Front fences and gates associated with residential development shall be consistent with the following requirements:

- a) For existing houses or properties, fencing and gates shall match the period of development. Local stone, timber picket and red brick or local stone pier, or timber post and rail with chain mesh may be appropriate. Hedges may be appropriate as an alternative to fencing. Fencing should be no higher than 1200mm above ground level;
- b) Fibre cement sheeting or steel sheeting as a fencing material shall be avoided on any street frontage in front of the building line;
- c) Fibre cement sheeting or steel sheeting may be used for fencing of back yards if its visual impact from the street will be limited;
- d) Limestone fencing is not permitted in Heritage Areas;
- e) Front fencing shall be open in style to allow views to and from the house;
- f) Solid fencing on front boundaries and on side boundaries in front of the building line shall generally not exceed a height of 1200mm. Depending on the surrounding context fences up to a height of 1500mm may be permitted and are to be visually permeable above 1200mm be visually permeable above 1200mm.

### 3.3.7 Renewable Energy Systems

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#### **Explanatory-**

The installation of renewable energy systems, such as solar panels, on existing buildings are becoming increasingly desirable and recognised as a necessary move towards more sustainable living.

The following guidelines on renewable energy systems are provided for individual places of heritage significance and places included within the Shire of York Heritage Areas.

#### **Policy-**

The objective of this guideline is to minimise the impact of renewable energy systems on York Heritage Areas and to places of heritage significance.

All applications for the installation of Renewable Energy Systems to places included on the State Register of Heritage Places are required to be referred to the Department of Planning, Lands and Heritage for consideration.

If a Conservation Management Plan exists for the place then the policies outlined must be considered when proposing the type and location of the renewable energy system for the place.

This guideline applies to but is not limited to the following renewable energy systems:

- Solar Panels
- Wind Turbines
- Water Tanks

The installation of the above types of Renewable Energy systems are generally acceptable if they are:

- (a) Located to the rear of the property and/or behind the building line;
- (b) Are visually concealed from the street and will be not visible from a thoroughfare;
- (c) Are not impacting or fixing to building fabric recognised as significant. Fixings and anchor points should, as much as possible, utilise existing points or be located so as to minimise damage to significant fabric, fixings are to go through mortar joints rather than bricks wherever possible;
- (d) All introduced systems must be removable and the impact from their presence reversible; and

- (e) If the installation of renewable energy systems requires removal of fabric, recording of the change is required.

The installation of renewable energy systems are acceptable provided that the building owner is able to show that the proposed systems will not impact on the following:

- (a) Significant fabric to a heritage place;
- (b) The visual setting, the appearance of the building from the street and within its existing setting;
- (c) Significant vistas to and from the place;
- (d) The form or shape of the existing main roof; and
- (e) All necessary electrical and plumbing conduits for the system should not create unnecessary visual clutter.

# PART-4

## **Commercial Development**

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### **4.1 Extent of Application**

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These Policy Guidelines shall apply to all commercial development within the Central York and Blandstown Heritage Areas. Development includes the construction of new buildings and the extensions, alterations, additions or modifications of existing buildings. Where the commercial development includes a residential component, the Policy Guidelines contained in Section 3 shall also be considered.

### **4.2 Objectives**

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- a. To facilitate commercial development that respects the existing heritage values.***
- b. To ensure that the primacy and heritage significance of Avon Terrace is maintained.***
- c. To protect and encourage the conservation of heritage significance within the Blandstown and Central Heritage Areas.***
- d. To ensure that all commercial development, including new development and the modification or extension of existing buildings, respects the scale, form, siting, appearance and general fabric of existing buildings and streetscapes in the Blandstown and Central York Heritage Areas.***
- e. To ensure that new development is of a high design standard that contributes to, and enhances, the whole area.***

### 4.3 Development Guidelines

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#### Explanatory-

The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and context for the policy provisions and should be read in conjunction with the policy.

#### 4.3.1 Scale and Size

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#### Explanatory-

The scale of a building is its size in relation to an existing commercial building, neighbouring buildings or the surrounding landscape. The resulting development should look as if it belongs to the area in terms of scale and size. Scale is one of the prime determinants of an area's character and should be maintained.

Street layouts and subdivision patterns strongly influence the scale of development. Street widths and lot frontages impact the scale of development. New buildings should be consistent with and sympathetic to their immediate surroundings.

#### Policy-

Commercial development must respect:

- (a) The scale of adjoining and nearby buildings in the street;
- (b) The surrounding landscape; and
- (c) In the case of additions, extensions or modification, the scale of the existing building.

Commercial development is permitted up to two storeys in height, provided that the development is sympathetic and in scale with the adjoining buildings.

The requirements for second storey additions to single storey heritage buildings are contained in the following Section 4.3.2.

### 4.3.2 Form

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#### **Explanatory-**

The form of the building is its overall shape, volume and the general arrangement of its main parts. New commercial development and alterations to existing commercial development in the Blandstown and Central York Heritage Areas shall be sympathetic to the predominant form of the neighbouring buildings and/or the existing building, where traditional main street building forms have been followed.

Where a building form is highly repetitive, such as in Avon Terrace, significant departures in form will appear at variance to the streetscape. The main design elements of new buildings in the street façade (i.e. proportions, parapets, number of openings, ratio of window to wall areas, etc.) will also affect how a new building relates to its neighbours and how an addition relates to an existing building.

#### **Policy-**

All commercial development shall respect and maintain the traditional pattern and appearance of the commercial buildings in the Blandstown and Central York Heritage Area and shall achieve the following criteria:

- a) Commercial buildings shall consist of horizontal strips of development broken into a vertical rhythm by the component shops or tenancies and the windows to individual shop fronts or tenancies;
- b) Large, single use buildings must maintain the appearance of articulated, individual frontages to the street through the use of architectural design features;
- c) Monolithic buildings with blank street frontages, large scale panel systems and sheet metal cladding are not acceptable;
- d) Corner sites provide an opportunity for landmark buildings to acknowledge and address the corner. Two storey development on street corners is appropriate; and
- e) New commercial developments should be simply treated, well-proportioned and detailed, though should not endeavour to copy historical architectural styles types in general.

## **Balcony, Verandahs and Awnings**

New commercial development shall have a verandah, balcony or awning over the public footpath of sufficient dimensions so as to provide effective weather protection for pedestrians. The awning should be simple in design and should align with any existing awnings on adjacent development. Awnings should extend for the full width of the building to allow continuous weather protection of the footpath below.

The requirement for an awning over the public footpath may be waived in locations where there is no continuous current or proposed footpath.

For existing buildings, the reinstatement of verandahs with verandah posts located on the public footpath will generally be permitted, provided it can be demonstrated that such a verandah would be consistent with the original form and design of the building and its heritage integrity. Verandahs should only be reinstated where there is good evidence of their original existence, and must take into account modern standards for public safety.

- Restoration or reinstatement of traditional verandahs or awnings should be based on archival evidence;
- Buildings constructed without an awning or verandah should not have a traditional awning or verandah constructed;
- A simple contemporary awning or canopy may be permitted, provided it does not detract from the significance of the place. In particular, it should not introduce undue separation of the ground floor from the upper levels.

Balconies should only be reinstated to existing buildings where there is good evidence of their original existence, and must take into account modern standards for public safety. Balconies to new development may be permitted where it does not detract from the significance of the place and/or area and shall be simple in design and align proportionally with other existing balconies on buildings.

## **Compatibility of Building Forms**

The design of all commercial development shall consider the horizontal alignments of principal levels for over-pavement awnings, canopies, parapet tops, window heads and sills, wherever practicable, with the adjoining development in a streetscape.

All commercial development shall respond to and reinforce the existing characteristics of rooflines in the Blandstown and Central York Heritage Areas, as follows:

- (a) Plate and wall heights, roof form, ridge lines, roof slopes and parapet lines shall be consistent with the neighbouring buildings in the streetscape;
- (b) Commercial buildings may have an articulated front parapet wall as an acceptable alternative to the pitched roof.

## **Parapets**

The decorative details of many original parapets are an important part of the building's original design style and add to the distinctive character of the area. The alignment of parapets is an important component defining the skyline of the heritage area when viewed from the street.

- Parapets shall be retained in the adaptation of an existing building and should remain the main element defining the roof line when viewed from the street;
- A parapet to the primary street façade of a new building should be of comparable height to adjacent buildings; and
- New parapets may be simple in their design and articulation but should be designed in a manner that takes account of the form and proportions of parapets on adjacent buildings.

## **Upper Floor Additions to Heritage Buildings**

A second floor may be added to an existing one storey heritage building. The overall height, however, must still be restricted to two storeys.

Additional floors are encouraged to be set back from existing street facades.

No external elements or attachments such as air conditioning plant may be placed forward of this building line.

The additional floor or new roof will be visible from Avon Terrace and other view points, so careful consideration of their appearance from all aspects is required.

- The design of a new upper floor to an existing heritage building, including its roof form, should not detract from its heritage significance;
- The form, articulation and detail of the addition should be considered carefully, and it should not detract from, or dominate, the style of the existing building;
- Simple "clean" lines, contemporary forms and proportions that are derived from the original building are appropriate.

## Shopfronts and Windows

The design of new shop fronts shall be sympathetic to existing shopfront typologies. Designs should aim to interpret existing proportions with dado heights, dado heights and central, side or truncated recess entries.

Windows onto the street should not be tinted or treated with reflective film. Views into and out of commercial buildings are to be maximised to create visual interest and to provide for greater security through casual surveillance. A minimum of 80% of all window space of a building facing a public street shall be kept transparent, and not obscure or rendered opaque by advertising signage.

### 4.3.3 Siting

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#### Explanatory-

A critical factor that influences the character of an area is the siting of buildings relative to boundaries, particularly setbacks from the primary street. New buildings in a historic context must be sympathetic to the local streetscape and reinforce the existing front and side setbacks to maintain the established patterns of development. The adjoining properties in a streetscape usually provide the best guide as to the correct approach for the setback of buildings. Commercial development in the Blandstown and Central York Heritage Areas, and in most traditional urban main street centres, has been built up to the street edge. This provides an appropriate urban “feel” and maximises opportunities for businesses to interact with passing pedestrians. Commercial development which is set back from the street edge with car parking areas in front of buildings are principally car-orientated, are not pedestrian-friendly and are inappropriate in York Heritage Areas.

Older buildings constructed on lots which are not parallel to the Avon Terrace road reserve have generally been located on the front boundary, even though this has resulted in the front walls being set at an angle to the side walls. This siting characteristic has helped maintain a continuous built edge to the footpath and is a feature of the area which should be retained.

#### Policy-

##### Front Setbacks

All new commercial development, and the extension, addition, alteration or modification of existing commercial buildings, shall maintain a zero setback to the street. Commercial development shall be located parallel to the street and must be built up to the public footpath edge. This shall occur even if the lot is set at an acute angle to the road reserve.

Construction of awnings or verandahs over the footpath on buildings built up to the lot boundary/public footpath edge is permitted.

## Car Parking Location

Car parking bays and/or car parking areas are generally not permitted between a building and the public footpath.

Car parking areas associated with commercial development shall comply with provisions of the Local Planning Scheme.

### 4.3.4 Materials and Colour

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#### Explanatory-

The Blandstown and the Central York Heritage Areas have a variety of materials and colours that relate to the main historic phases of the development of York. These materials, textures, colours and decorative treatments are important elements of character and heritage significance.

The main materials that contribute to the streetscape value of the Heritage Areas are those used in the walls of buildings and their window treatments. Roofs tend to play a less significant role as they are often concealed, or partially concealed, behind parapets.

Commercial development should use materials, textures and colours that are seen and used locally. Materials and colours of the surrounding buildings may be used as a point of reference for new development. It is not necessary or desirable to copy the existing development in every detail; however, the use of similar materials and colours assists with developing harmony in a streetscape. Modern materials are not precluded, providing their proportions, textures and details are sympathetic and respond to the surrounding context. The quality of new materials should be equal with those of existing buildings. New materials and colours can reinterpret heritage fabric, creating a juxtaposition between old and new, and contribute positively to the character and significance of a place.

When restoring or repairing important heritage places, replacement materials should match like-with-like where possible. The Shire of York Heritage Advisor is available to provide advice to property owners. For larger or more complex projects, the engagement of a heritage architect is recommended to assist building owners with building works to heritage places. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. Concrete rendering or painting existing brick in older buildings may cause the brickwork to deteriorate and is a poor maintenance strategy.

## Policy-

The acceptable materials for new commercial buildings and additions, retaining walls, extensions or modifications to existing commercial buildings are as follows:

### Walls

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated steel or mini orb profile walls in a galvanised or painted finish used to front facades needs to be considered carefully, as these materials are uncommon within the Heritage Areas. These materials are appropriate for side and rear walls and outbuildings.
- Use of limestone materials will generally not be permitted.
- Depending on the scale and height of the retaining wall it is recommended that the proposed materials used shall be in keeping with or sympathetic to those materials which have been historically present in the area. The use of brick, rammed earth, natural stone and render is acceptable.

### Windows and Doors

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Steel framed.
- Timber to match the existing materials being replaced or the period of development for commercial places being restored.

### Roofs

Roofing materials are mostly concealed behind parapets, but there are instances of clay tiles and corrugated steel sheeting being exposed to view, particularly on corner sites. Preferred roofing materials include:

- Corrugated zincalume or steel roof sheeting in an appropriate colour is acceptable.
- Corrugated galvanised zincalume sheeting is generally required for buildings listed in the State Register of Heritage Places.
- Clay tiles, if appropriate to the place and location.

Where roofing can be viewed from the street and surrounding area, large scale and large profile roofing is not acceptable. Roofing materials must not be used in large quantities as façade treatments.

### Gutters and Downpipes

- Gutter profiles such as half round, quarter round, ogee, colonial are typical to York heritage places. Round downpipes are likewise typical and preferred. Please refer to Appendix 6 for these typical gutter details.

- Galvanised profiles are preferred to heritage places however coloured steel profiles can be used if appropriate to the context.
- PVC downpipes and rainwater goods are considered intrusive and are not appropriate within Heritage Areas.

## Colours

The colours to be used in all commercial development will have regard to the following criteria:

- The colours used in an existing building and in neighbouring properties in the streetscape. Colours should respond to the original colours used or a contemporary interpretation of those colours;
- For new buildings, sympathetic modern colours may be acceptable;
- Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate;
- The use of bright or garish colours in large areas visible from the street is not permitted.
- Face brickwork should not be painted or rendered if it has not been done so previously.
- Colour schemes should include a range of tones of varying intensity to complement and enhance the complexity of architectural detail and decoration of the existing buildings.
- Monochromatic schemes are not appropriate on heritage buildings in the Heritage Areas and should be avoided.
- The application to new and existing buildings of “Corporate Standard” colour schemes or materials that are not sympathetic to the character of the Heritage Areas will not be supported.

The colours to be used in heritage places, including places on the State Register of Heritage Places and the Shire of York Heritage List, should be based on the original colours used in the building based on paint scraping where possible. Contemporary interpretation of these colours is acceptable.



Castle Hotel & Outbuildings  
95 -97 Avon Terrace, York  
Source: SCA 2020

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#### 4.3.5 Detailing

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##### **Explanatory-**

Similar and common details used in commercial development can also assist in creating character. There was a generally common approach to detailing in various periods of development. Modern buildings are generally more simply detailed than buildings in the historic context. This difference in approach can disrupt the harmony of an historic streetscape.

The civic and commercial buildings in the Central York Heritage Area are characterised by well detailed facades set on the front boundary with classically derived frontages above verandahs and awnings. Building facades or elevations are predominantly glazed below the verandah or canopy level with doors located either centrally or to one side. Older shops have tall boards, in-goes and high ceilings. Verandahs are either bull-nosed or skillion with fascia for signage.

New development should respond to its context in terms of detailing but may employ contemporary forms of expression. The detailing may draw on the examples of historic buildings in the Heritage Area but should not attempt to copy or reproduce them.

##### **Policy-**

##### **Verandahs**

The style of a replacement / reinstatement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary or physical evidence regarding the original verandah, a simple verandah without elaborate decoration should be used. Reinstatement of known missing decorative detailing on existing buildings is encouraged.

##### **Street Facades**

Alterations to the main street façade of heritage buildings should be minimised.

The original pattern of the façade, the relationship of windows and walls and any architectural design or patterns, shall be retained.

Facades of new buildings, even though they may be of contemporary design and materials, should reflect, or be derived from, the articulation of the facades of the existing significant buildings. There shall be a visual harmony between the new façade and the existing street elevation.

New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate to the date of construction of the building.

## **Windows and Doors**

Windows should follow similar patterns to those used in existing buildings and the streetscape. Front entries should be central to the façade or offset to one side, facing directly onto the street.

Windows and doors in new buildings should not be direct copies of traditional styles. Where windows are visible from the street, they should be simple timber framed, or commercial quality, box aluminium framed windows with proportions reflecting traditional openings. Steel windows may also be acceptable.

The original door or window openings are to be maintained. Where a door or window cannot be repaired, replacement on a like for like basis is preferred.

Security to a premises should be provided in a way that is sympathetic to the fabric and character of a building and is not unduly intrusive. Roller doors will generally not be permitted.

## **Lighting**

External lighting of a commercial building must be designed to be in keeping with the character of the street, to light the building effectively without drawing undue attention to it, and to provide an effective level of public amenity along the footpath. Lighting from the underside of awnings and verandahs is acceptable. Low key lighting to facades from verandahs and canopies is also acceptable.

## **External Fixtures**

Elements fixed to the façade of a heritage building that are not part of the fabric of the building, such as air-conditioners, coolers, satellite dishes, antennas, etc., are inconsistent with the existing streetscape of Avon Terrace, and will generally not be permitted.

## Chimneys

New chimneys, where required, shall have vertical proportions (tall in height), extending beyond the maximum ridge height of the roof at any point.

### 4.3.6 Setting

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#### Explanatory-

Fences and gates in the Heritage Areas generally reflect the rural character of the town. It is important to ensure that fences fronting a street respond to the streetscape and the heritage significance of the place to which it is relevant.

New development must allow for direct and level access to and from public footpaths. In addition, high building pads should not be created as part of any new development.

This Policy aims to ensure that the palette of paving materials maintains a high degree of consistency and visual harmony.

#### Policy-

##### Paved Areas & Levels

Footpaths and hardstand areas in commercial developments, other than rear carparks, should be brick paved, red asphalt or laterite aggregate. Rear car parks not visible from Avon Terrace may be laid in a standard hot mix with a black/grey finish.

All development must be sympathetic to the existing land contours and natural features. Development should match adjoining finish floor levels. No more than 500mm of cut or fill may be permitted as part of any commercial development unless such cut or fill is to match the height and scale of an existing building.

Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development occurring warrant higher retaining walls.

## Fences & Gates

Fences and gates associated with commercial development shall be consistent with the following requirements. Where there is conflict with the Shire of York Local Law on Fences, this Policy shall prevail:

- (a) For existing buildings, fencing and gates shall be sympathetic to the period of development. Local stone, timber picket, brick/stone pier and picket, or timber post and rail with chain mesh may be appropriate.
- (b) Fibre cement or profiled steel sheeting, as a fencing material is not permitted on a street frontage or in front of the building line.
- (c) Fibre cement or profiled steel sheeting, as a fencing material may be used behind the building line for side and rear fencing.
- (d) The use of limestone is not generally supported but may be permitted where it is being used to augment existing limestone retaining walls.
- (e) Front fencing that is visually permeable to allow views to and from the building is preferred. The solid (non-visually permeable) portion of any fencing on front and side boundaries forward of the building line shall not exceed 1200mm in height.
- (f) Any fencing on front and side boundaries in front of the building line over 750mm shall be truncated a minimum of 1500mm at the entries to driveways and the intersection of streets.



Grey Street, York  
Source: SCA 2020

#### 4.3.7 Renewable Energy Systems

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##### **Explanatory-**

The installation of renewable energy systems, such as solar panels, on existing buildings are becoming increasingly desirable and recognised as a necessary move towards more sustainable living.

The following guidelines on renewable energy systems are provided for individual places of heritage significance and places included within the Shire of York Heritage Areas.

##### **Policy-**

The objective of this guideline is to minimise the impact of renewable energy systems on York Heritage Areas and to places of heritage significance.

All applications for the installation of Renewable Energy Systems to places included on the State Register of Heritage Places are required to be referred to the Department of Planning, Lands and Heritage for consideration.

If a Conservation Management Plan exists for the place then the policies outlined must be considered when proposing the type and location of the renewable energy system for the place.

This guideline applies to but is not limited to the following renewable energy systems:

- Solar Panels
- Wind Turbines
- Water Tanks

The installation of the above types of Renewable Energy systems are generally acceptable if they are:

- (a) Located to the rear of the property and/or behind the building line;
- (b) Are visually concealed from the street and will be not visible from a thoroughfare;
- (c) Are not impacting or fixing to building fabric recognised as significant. Fixings and anchor points should, as much as possible, utilise existing points or be located so as to minimise damage to significant fabric, fixings are to go through mortar joints rather than bricks wherever possible;

- (d) All introduced systems must be removable and the impact from their presence reversible; and
- (e) If the installation of renewable energy systems requires removal of fabric, recording of the change is required.

The installation of renewable energy systems are acceptable provided that the building owner is able to show that the proposed systems will not impact on the following:

- (a) Significant fabric to a heritage place;
- (b) The visual setting, the appearance of the building from the street and within its existing setting;
- (c) Significant vistas to and from the place;
- (d) The form or shape of the existing main roof; and
- (e) All necessary electrical and plumbing conduits for the system should not create unnecessary visual clutter.

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# PART-5

## Universal Access

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### 5.1 Extent of Application

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The Shire of York recognises that universal access and inclusion makes communities liveable for everyone. With or without disability, universally accessible environments allow for an equal and dignified entry and use of buildings.

All buildings, including heritage places, are subject to the requirements of the Federal Disability Discrimination Act 1992 (DDA) and the Western Australian Equal Opportunity Act 1984. These Acts apply to both public and private ownership (excluding private residences). This Act requires that people with disabilities be given an equal opportunity to access premises without discrimination unless a case of unjustifiable hardship exists.

Standard Building Codes and requirements still need to be followed when making changes to a building for universal access.

Universal access and inclusive design is a priority when upgrading a heritageplace. Any change to a heritage building needs to consider the impact on the heritage values of the place.

### 5.2 Objectives

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- a. To provide a universally accessible built environment for the Shire of York community and visitors to the area.***
- b. To ensure that universal accessibility is achieved without compromising significant building fabric or the cultural heritage significance of a place.***

## Policy -

The following should be considered when providing universal access to a building:

- (a) proximity to car parking;
- (b) access to the buildings on a common or similar route and same entry used by all where possible;
- (d) access to each level of a building;
- (f) access and use of toilets and other facilities;
- (g) the provisions for information in all formats (written, visual and audio);
- (h) access to services; and
- (i) access throughout the site including open space, landscapes, gardens and garden structures.

Changes to buildings included on the State Register for Heritage Places will be referred by the Shire to the Department of Planning, Lands and Heritage for consideration.

The Shire of York has the following guidelines for providing universal access to heritage buildings and building located within a Shire of York Heritage Area:

- (a) that the design of universal access does not appear dominant to the building form or negatively impact significant building fabric.
- (b) that the proposed access is sympathetic to the existing material and colour palette of the building and heritage area.
- (c) that any changes may be reversible if other access options became preferred.

While the *Federal Disability Discrimination Act 1992 (DDA)* and the *Western Australian Equal Opportunity Act 1984* does not apply to private residences, the Shire of York encourages alterations to private residences to allow for universal access. The above guidelines should also be considered by property owners designing for universal access to private residences.

[https://www.emaa.com.au/uploads/4/6/3/2/46326229/20180112\\_access\\_to\\_heritage\\_buildings\\_guidelines\\_vic.pdf](https://www.emaa.com.au/uploads/4/6/3/2/46326229/20180112_access_to_heritage_buildings_guidelines_vic.pdf)

# PART-6

## Heritage Area Signage

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### 6.1 Extent of Application

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These Policy Guidelines shall apply to all applications for signage within the Blandstown and Central York Heritage Areas.

These Policy Guidelines aim to provide a basis for signage in the Heritage Areas.

All new signage must be approved (by way of development application) by the Shire of York, except for the following:

- a) Replacement of an existing lawful sign, provided that the sign:
  - (i) is not greater in size than the sign that is being replaced; and does not involve any alteration to the structure or vessel on which the sign is displayed;
  - (ii) complies with the 'permitted signage content' provisions outlined in this policy;
  - (iii) relates directly to the business operating from the property;
  - (iv) is less than 3 square metres in area and the use of corporate colours does not exceed 40% of the surface area of the sign. The remaining colours of the sign shall be neutral colours that are sympathetic with the Shire of York colour palette.
- b) Window/glazing signs, which do not exceed 25% of the total glazed surface of each level of the building along each elevation of the building.
- c) One advertising sign per shop front, within the lot boundaries of the property, which does not exceed 0.2 square metres in area, containing the name, number and address of the building, the purpose for which the building is used or the name and address of the managing agent thereof.
- d) The erection of Heritage Plaques issued by the Heritage Council of Western Australia.
- e) One open/closed sign within the lot boundaries of a property which does not exceed 0.2 square metres in area per business.
- f) Temporary Signage issued with approval from the Shire for events, may be erected up to two weeks prior to the event, unless otherwise agreed within the event approval and shall be removed within 2 days of completion of the event. Temporary Signage shall not use permanently affixing methods buildings or damage significant fabric.

- g) The following 'Real Estate Signs';
  - (i) Signs advertising a property for sale within the lot boundaries of a property, not affixed to a building and relating to the property offered for sale provided that they do not exceed 3 square metres or impede sight lines of oncoming traffic when located on corner lots; or
  - (ii) are window signs.
- h) One Building Construction Site advertising sign not affixed to a building per street frontage, displayed only for the duration of construction, which does not exceed an area of 3 square metres.
- i) Signs located on a thoroughfare where a permit has been issued in accordance with a local law.

The exemptions do not apply to:

- (i) rotating, flashing or illuminated signage;
- (ii) Signage containing language or images which could be considered offensive, obscene, or culturally insensitive.

## 6.2 Objectives

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- ***To permit adequate identification and business advertising.***
- ***To recognise that advertising signs can help to express the character of the Heritage Areas, creating an attractive daytime and evening atmosphere.***
- ***To limit the number, scale and positioning of advertising signs.***
- ***To ensure that advertising signs are in keeping with the scale and character of the building upon which they will be attached and do not detract from the architecture of the building.***
- ***To ensure that signage is designed and located in a manner which enhances and conserves the heritage place with which it is associated.***

### 6.3 Signage

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#### **Explanatory-**

This policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and context for the policy provisions and should be read in conjunction with the policy.

In the York Heritage Areas, the overall setting and character must be the dominant elements, and signage must play a minor role. The design and placement of signs on or near heritage buildings and places requires careful consideration to be compatible with, and not detract from, the heritage significance of the building or place.

Traditionally, signs were rarely placed on pilasters, architectural mouldings or across incised decorative patterns. They were placed so as to allow the architectural details of buildings to remain prominent.

Signs must also be visually subservient to the building to which they are attached. Given that motor traffic moves at relatively low speeds through the town, it is not considered that signs need to be large.

While advertising signage will mostly appear in the commercial area, some residents who operate legally established home businesses may also wish to advertise.

Applicants are encouraged to commission a reputable graphic designer for the design of their signage, to ensure that signs are designed to a high standard, and respect the unique setting of the Blandstown and the Central York Heritage Areas.

## **Policy-**

All signs within the Blandstown and Central York Heritage Areas shall comply with the following principles:

- (a) Signs shall be discreet and complement the building and streetscape in which they are located;
- (b) Signs shall be of a size, nature, colour and position such so that the architectural characteristics of the building remain the dominant element;
- (c) Signage must respect and not obscure important architectural detail on heritage buildings;
- (d) Signage should respect the heritage values of the building and streetscape on which it is located, however should not attempt to recreate a historic character through the use of "olde" lettering or other imitation styles;
- (e) Signs shall be attached to a building in a manner which does not damage or compromise the structural integrity or heritage values of the building;
- (f) Views into and out of shop windows should not be significantly obscured by signage;
- (g) All signs should be of a high standard in terms of materials, construction and graphics. All signs shall be designed, constructed, finished, installed and maintained to a standard compatible with its surroundings, including buildings, landscaping and other signs; and
- (h) Background colours used in signs shall generally be white or cream or colours from the colour palette available for viewing at the Shire of York offices.

## **Prohibited Signs-**

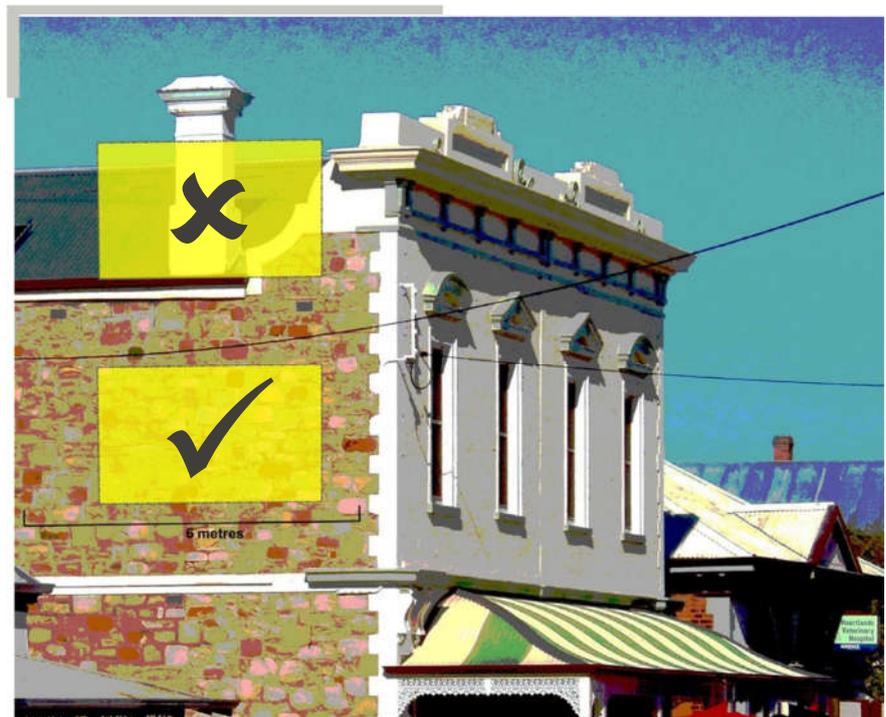
The following signs are not permitted within York Heritage Areas:

- (a) Signs which consist of modern standardised corporate advertising, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is neutral, and appropriate to the period and the building to which it is affixed;
- (b) Signs that obstruct the views to and/or from a street or public place and that have the potential to impede safe traffic movement;
- (c) Signs that are likely to be confused with or mistaken for an official traffic light or sign;

- (d) Signs which are affixed to a building in a manner that will damage the building, will negatively impact on the heritage values of the building, or which will affect the stability of the building;
- (e) Free-standing or portable signs, including A-frame signs, in a street or a public place, unless they are placed in a location(s) so that they do not impede pedestrian access or cause any form of hazard;
- (f) Pylon, tower or monolith signs;
- (g) Rotating, flashing and internally lit signs. Small neon signs hanging inside the windows of shops may be appropriate, provided they are of a size and dimension to not become a dominant townscape element;
- (h) Roof signs or signs which break a parapet or roof line;
- (i) Signs which involve the construction of walls or parapets that would not have been part of the traditional streetscape;
- (j) The painting of whole building facades or parapets in bright or corporate colours;
- (k) The painting of signage on historic buildings on unpainted brickwork or stonework;
- (l) Fluorescent and iridescent paint colours;
- (m) A sign located in any position where it would unreasonably obstruct or obscure the existing views from a dwelling or building of a significant feature such as the river or a public park; and
- (n) Flags and bunting.

## Signs on Side Walls

Signage on the side walls of buildings may be permitted, provided that the signs do not protrude above the parapet breaking the silhouette of the building, and do not have an area greater than 10 square metres or exceed 10% of wall area, whichever is the lesser. In situations where the side of the building does not front a street, the visible area of the wall up to a maximum depth of 6m, shall be used to calculate the surface area of the wall to determine the size of the sign.



Example of appropriate and prohibited signage on the side wall of a building.

Signs shall not extend above the parapet and break the silhouette of the building. Figure shows how to calculate the surface area of the wall to determine size of the sign. The sign shall not exceed 10% or 10 sqm of the wall area hatched in yellow, whichever is the lesser amount.

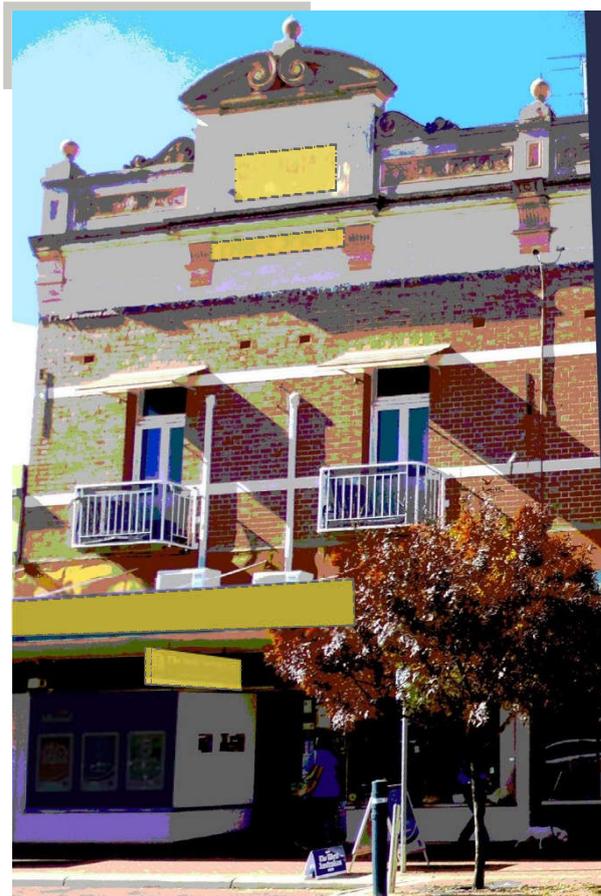
### Appropriate Locations for Signs

Signage shall be placed in locations on a building which would traditionally have been used as advertising area. If the building has no such locations, the signage may be deemed inappropriate. Preferred locations for signage shall include: awnings, fascias, doors, walls and hanging under verandahs, either facing the street or at right angles to the street above the footpath.

Generally the following areas on a heritage building are suitable for locating signage, although it is not suggested that all these opportunities should be exploited at the same time:

- the solid parapet above the cornice (horizontal sign);
- the horizontal panel below the cornice (horizontal sign);
- on upper storey side walls;
- small signs on ground or first floor windows; and
- attached to verandahs (verandah fascia and under-awning signs).

The aggregate number of signs on a building, including fixed and freestanding signs, shall be minimised. The total aggregate of all signs on the frontage of the building shall not exceed 10% of the total area of a building's principal frontage.



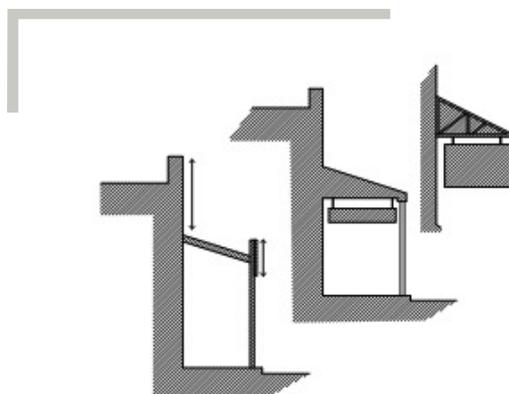
The total area of the shaded portions shall not exceed 10% of the total area of the face of the building to the street.

### Required Overhead Clearance

All signage situated over the footpath or other pedestrian thoroughfare shall maintain a minimum clearway of 2.75m from the natural ground level. A clearway of 2.4m may be supported where 2.75m cannot be achieved. Signs situated under the verandah of a building shall not project beyond the outer edge of the verandah.



Example of areas of traditional locations of signage.



Example of areas of traditional locations of signage.

### Permitted Signage Content

The information to be included on a sign shall be limited to:

- (a) The name, address, telephone number, email address and/ or website associated with the premises;
- (b) The name of the business(es) contained within the premises;
- (c) The type of services, activities or products available within the premises.

Lettering on signs is restricted to 300mm high, except on larger two storey buildings, where the lettering on the principal sign may be 380mm high.

Unrelated or third-party advertising is not permitted. Signage containing language or images which could be considered offensive, obscene, or culturally insensitive is not permitted.

### **Corporate Colours & “Branding”**

Signs which consist of modern standardised corporate colours and advertising are not generally permitted, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is neutral or appropriate to the period and the building to which it is affixed;

The use of corporate colours and business logos shall not exceed 40% of the total surface area of the sign.

### **Illumination of Signs**

The illumination of signs may be appropriate in some circumstances. The illumination of signs may only occur from external lighting sources or spot lighting of architectural elements or the sign itself. All lighting shall be discreet and all transformers and cabling shall be concealed.

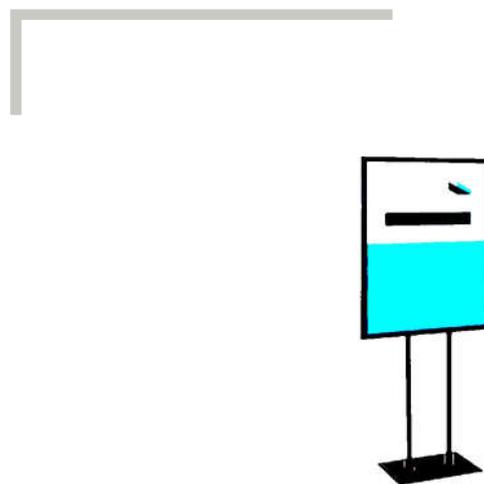
### **Home Occupation & Business Signs**

Signage relating to home occupation or home business within a residential dwelling shall be restricted to one advertising sign placed on a wall of the residence or the front fence of the property. The sign shall have a maximum area of 0.2 square metres and shall display the name of the business and street address only. Where these standards are achieved, no application for planning approval is necessary.

## Freestanding Signs

Freestanding signs are only permitted on lots where the building is set back from the street, and must comply with the following;

- (a) The information included on the sign shall be limited to the name, address, telephone number, email address and/ or website, and hours of operation of the business carried out on the premises;
- (b) A maximum of one (1) free standing sign is permitted per property;
- (c) The area of the sign (excluding supports) must not exceed 1 sqm and a maximum length of 2m;
- (d) The sign shall have a maximum height of 1.8m above natural ground level;
- (e) The sign shall be permanently fixed to the ground;
- (f) Sign must be positioned in a suitable location so that pedestrian movement and views into and out of the premises is not obstructed; and
- (g) Temporary signage must remain in keeping with the colour scheme of the heritage area and must not have an appearance to clutter the streetscape.



Examples of appropriate temporary signage

# PART-7

## Public Murals

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### 7.1 Extent of Application

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The Shire of York recognises that public murals can contribute to a sense of place through conveying stories about community, nature and local history. The Shire therefore encourages murals and public art to blank walls and under utilized and open spaces, where it can be shown that the mural will positively impact the streetscape and cultural heritage significance of the area.

The following guidelines are provided for proposed public murals within the Blandstown and Central York Heritage Areas.

Murals proposed for privately owned residential buildings, not individually included on the Local Heritage Survey, and not visible from the street, reserve, public thoroughfare or a Right- of-Way are exempt from requiring an approval from the Shire provided they do not contain obscene, offensive or culturally inappropriate content.

All applications for murals proposed for buildings on the State Register of Heritage Places will be referred by the Shire to the Department of Planning, Lands and Heritage for consideration.

These guidelines are to be read in conjunction with the Shire of York Signage Policy (Part-6). All proposals for public mural installations are to comply with the policies outlined in Part -6.

The concept and colour palettes for all murals and public art must be approved by the Shire of York prior to installation. Written consent from building owners' must be provided with each application.

### 7.2 Objectives

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- a. To positively impact on the cultural heritage values of a place through public art.***
- b. To foster a creative and culturally diverse community.***
- c. To use public murals to interpret cultural heritage.***

### **Public Mural Policy-**

All Murals and Public Artwork within the York Heritage Areas shall comply with the following principles:

- (a) Murals and Public Artwork shall be of a size, nature, colour and position such that the architectural characteristics of a heritage area and individual places remains dominant to the streetscape;
- (b) Murals and Public Artwork must respect and not cover important architectural detail on historic buildings;
- (c) Murals and Public Artwork shall not be painted directly onto previously unpainted surfaces of a building with heritage significance (either contributing to the values of a heritage area or individually listed). Murals may be painted onto a substrate attached to a building in a manner which does not damage the building;
- (d) All Murals and Public Artwork should be of a high standard in terms of design, implementation and materials; and
- (e) All Murals and Public Artwork applications proposed within Heritage Areas will be referred to the Shire of York Heritage Advisor.

### **Prohibited Works-**

The following murals/public artwork are not permitted within York Heritage Areas:

- (a) Any Murals and Public Artwork that is deemed to be advertising (by the way of colour branding, business logos or imagery related to the main services of the business);
- (b) Murals and Public Artwork that is not in keeping with the aesthetic and social context of the location;
- (c) Murals and Public Artwork that includes subject matter that is deemed offensive;
- (d) Murals and Public Artwork that is deemed as "off-the-shelf" or highly reproduced;
- (e) Murals and Public Artwork that do not abide by copyright laws or have not received permissions from contributing parties or relevant cultural groups.

# GLOSSARY

**Adaptation**- means modifying a place to suit the existing use, or a proposed use.

**Association**- means the special connections that exist between people and a place.

**Awning**- is an overhang or a secondary covering attached to the exterior wall of a building. Awnings provide shade and shelter to footpaths and/or protection to window and door openings.

**Built Form**- means the configuration of the aggregate of all buildings, structures, etc., which make up a town or Shire.

**Bulk**- means the combined effect of the arrangement, volume, and shape of a building or group of buildings. Generally, refers to structures which in their context appear relatively large.

**Character**- is essentially the combination of the public and private domains. Every property, public place or piece of infrastructure makes a contribution, whether large or small. It is the cumulative impact of all these contributions that establishes neighbourhood character. The physical qualities of character in the Central York, York Town Centre and Blandstown Heritage Areas are diverse and include:

- the era of the majority of development;
- the grid subdivision pattern;
- the siting and orientation of development / built form on lots;
- the form and distribution of open space;
- building height, scale and proportion; and
- distinctive building styles, particular design elements, materials and finishes.

**Compatible use**- means a use which respects the cultural significance of a place. Such a use involves no, or minimal impact, on cultural heritage significance.

**Conservation**- means all the processes of looking after a place, so as to retain its cultural significance.

**Contemporary design**- means design styles that are of their time and that do not use the design elements of another time, such as historicism.

**Context**- means the specific character, quality, physical, historic and social context of a building's setting and may, according to circumstances, be a group of buildings, a part of a street, whole street, part of a town or the whole town.

**Cultural heritage significance**- means aesthetic, historic, scientific, social, or spiritual value, for past or future generations. Cultural heritage significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Cultural significance may change over time, with use and as a result of new information (Burra Charter 2013).

**Curtilage**- means a defined area that surrounds a dwelling or property, but in the wider sense is the area that defines the limits of a significant place or area.

**Fabric**- means all the physical material of the place, including components, fixtures, contents and objects.

**Form**- means the overall shape and volume of a building and the arrangement of its parts.

**Heritage Item** - means a place, building, work, archaeological site, landscape or garden, or moveable relic, or place of Aboriginal significance identified on a heritage register.

**Historic Character**- means the combination of particular characteristics or special qualities of a place related to its period or style of construction. This is generally summed up in the Statement of Significance for the place.

**Historicism**- means an excessive regard for past styles and may include copying them, as opposed to using contemporary design.

**Infill**- means a new building in an established and valued historic context. Good infill is sympathetic to its surroundings and context, and creates a new structure that enhances and complements the existing character. Infill shall be distinguishable from the existing context but shall look like a well mannered neighbour.

**Interpretation**- means all the ways of presenting the cultural heritage significance of a place.

**Maintenance**- means the continuous protective care of the fabric and setting of a place and shall be distinguished from repair. Repair involves restoration or reconstruction.

**Meanings**- denote what a place signifies, indicates, evokes or expresses.

**Massing**- means the size and volume of a building.

**Mixed Use Development**- means the mixing of compatible land uses in a balanced blend, integrated in close proximity to each other. Physically it includes both vertical and horizontal mixing of uses. No single use shall dominate other uses, although residential use is often the major component.

**Place**- means site, area, land, landscape, building, or other work, group of buildings or other works, and may include components, contents, spaces and views.

Place may have tangible and intangible dimensions.

The Burra Charter 2013 outlines that place has a broad scope and includes natural and cultural features. Place can be large or small: for example, a memorial, a tree, an individual building or group of buildings, the location of an historical event, an urban area or town, a cultural landscape, a garden, an industrial plant, a shipwreck, a site with insitu remains, a stone arrangement, a road or travel route, a community meeting place, a site with spiritual or religious connections.

**Preservation**- means maintaining the fabric of the place, in its existing state, and retarding deterioration.

**Reconstruction**- means returning a place as nearly as possible to a known earlier condition by the introduction of materials, new or old, into the fabric.

**Related Place** - means a place that contributes to the cultural heritage significance of another place.

**Related objects**- means an object that contributes to the cultural heritage significance of a place, but is not at the place.

**Restoration**- means returning the existing fabric of a place to a known earlier state by removing accretions, or by reassembling existing components, without the introduction of new material.

**Scale**- means the size of a building or addition and its relationship with surrounding buildings, the existing building in the case of an addition, or the landscape.

**Setting**- means the area around a heritage place or item that contributes to and is part of its heritage significance. It may include views to and from the place. The setting may be pristine landscape, culturally modified landscape, gardens and streetscapes.

**Statement of significance**- means a summary of those things that are of particular importance in relation to a particular place and tells us why a place has cultural heritage significance. It also guides how a place that is significant may be managed.

**Streetscape**- (a) means the total visual impression gained from any one location within a street including the natural and man-made elements; and (b) is made up of the appearance of, and the relationships between, buildings in terms of design, scale, materials, colours, finishes, signs, external furniture, paving materials for roads, footpaths and landscaping.

**Sympathetic or Complementary**- means a design outcome that shares the characteristics of the context and while it will not be the same as historic neighbours, will not look out of place amongst them.

**Unobtrusive**- means not noticeable, especially when viewed from a public place.

**Use**- means the function of a place, as well as the activities and practices that occur at such a place.

**Verandah**- is an open area attached to a building with a roof supported by the building on one side and posts or columns on the other.

**'Commercial development'**- shall refer to all non-residential development.

**'Heritage Place'**- shall mean any place contained on the State Register of Heritage Places, the Shire of York Local Heritage Survey, any Heritage List or Heritage Area adopted under a Local Planning Scheme or contained in Appendix 1 to 4 of this Local Planning Policy.

**'Town Planning Scheme'**- shall mean any operative Town Planning Scheme within the Shire of York.

**'Freestanding Sign'**- means a sign that is displayed on a structure that is mounted on the ground on one or more supports.

**'Monolith Sign'**- means a sign that is not attached to a building or any other structure and with its largest dimension being vertical. Such signs may consist of a number of modules and is generally uniform in shape from ground level to the top of the sign.

**'Pylon Sign'**- means a sign supported on one or more piers, not attached to a building or other structure, and includes a detached sign framework supported on one or more piers to which sign infill may be added.

**'Temporary Special Event Signs'**- means a temporary sign which is erected for a short-term event such as a fair or festival for charitable, religious, educational, sporting organisations or the like, which has been approved by the Shire of York. Temporary Special Event Signs must be removed at the completion of the event and consent must be sought from the Shire of York when signs are to be placed in a thoroughfare or a reserve.

**'Tower Sign'**- means a sign affixed to or placed on a tower, chimney stack or open structural mast.

# APPENDIX 1

## SHIRE OF YORK HERITAGE LIST

(Listed by street name in alphabetical order)

Place Name and Number		Address	Level of Significance
1	Residence	1 Alfred Street, York	B
3	Residence	6 Alfred Street, York	B
4	Residence	9 Alfred Street, York	B
<b>5</b>	<b>Balladong Farm</b>	<b>2 Avon Terrace, York</b>	<b>A</b>
<b>12</b>	<b>Wansborough House</b>	<b>22 Avon Terrace, York</b>	<b>A</b>
<b>23</b>	<b>York Town Hall</b>	<b>79-81 Avon Terrace, York</b>	<b>A</b>
<b>25</b>	<b>Imperial Hotel</b>	<b>83 Avon Terrace, York</b>	<b>A</b>
<b>39</b>	<b>York Courthouse, Police Station &amp; Gaol (fmr)</b>	<b>124 – 130 Avon Terrace, York</b>	<b>A</b>
<b>42</b>	<b>York Post Office</b>	<b>134 Avon Terrace, York</b>	<b>A</b>
<b>43</b>	<b>Edwards Store (fmr) York Co-op</b>	<b>136-140 Avon Terrace, York</b>	<b>A</b>
<b>49</b>	<b>Council Chambers</b>	<b>151 Avon Terrace, York</b>	<b>A</b>
<b>57</b>	<b>Mongers Trading Post (fmr) Mongers Store</b>	<b>165 Avon Terrace, York</b>	<b>A</b>
<b>60</b>	<b>Mongers Trading Post (fmr) Monger's Yard SITE</b>	<b>173 Avon Terrace, York</b>	<b>A</b>
<b>61</b>	<b>Mongers Trading Post (fmr) Sandalwood Yards</b>	<b>179 Avon Terrace, York</b>	<b>A</b>
62	Gallops Residence & Shop (fmr)	208 Avon Terrace, York	B
64	Residence	5 Bird Street, York	B
65	Residence (Turvey House)	25 Bird Street, York	B
66	Residence	26 Bird Street, York	B
67	Residence	112 Bland Road, York	B
68	Residence	150 Bland Road, York	B
<b>69</b>	<b>York Hospital (fmr)</b>	<b>3 Brook Street, York</b>	<b>A</b>
<b>70</b>	<b>Convict Depot</b>	<b>5 Brook Street, York</b>	<b>A</b>
<b>71</b>	<b>York Residency Museum</b>	<b>5 Brook Street, York</b>	<b>A</b>
<b>73</b>	<b>York Flour Mill</b>	<b>11 Broome Street, York</b>	<b>A</b>
74	Residence	59 Brunswick Road, York	B
75	Hope Farm	15 Carter Road, York	B
76	Residence (Black Lillies)	87 Centennial Drive, York	B
81	Residence (Cotmore)	9 Clifford Street, York	B
82	Residence (Glenwood)	33 Clifford Street, York	B
83	Residence	3 Dinsdale Street, York	B
84	Residence (Sunny Hill)	16 Dinsdale Street, York	B
86	Residence	38 Eleventh Road, York	B
87	Residence	2 Ford Street, York	B
89	Residence	22 Ford Street, York	B
90	Residence	26 Ford Street, York	B
91	Residence	28 Ford Street, York	B
92	Residence	32 Ford Street, York	B
93	Residence	44 Ford Street, York	B
94	Hillside	15 Forrest Street,	B
95	The Mount	29 Fraser Street, York	B
96	Residence (Avonlea)	13 George Street, York	B
97	Residence	4 Georgiana Street, York	B
98	Residence (Lavender Cottage)	6 Georgiana Street, York	B
99	Residence	10 Georgiana Street, York	B
100	Residence	12 Georgiana Street, York	B

101	Residence	1 Glebe Street, York	B
103	York Croquet Club	8 Glebe Street, York	B
104	Hartleap	4472 Great Southern Highway, Balladong	B
105	Residence	9 Grey Street, York	B
106	Residence	17 Grey Street, York	B
107	Residence	21 Grey Street, York	B
108	Residence	23 Grey Street, York	B
<b>109</b>	<b>Faversham House</b>	<b>24 Grey Street, York</b>	<b>A</b>
110	Residence	25 Grey Street, York	B
112	Residence (Stanmere)	55 Grey Street, York	B
113	Residence (Burton)	67 Grey Street, York	B
114	Residence	68 Grey Street, York	B
115	Residence	71 Grey Street, York	B
118	Residence	13 Harriott Street, York	B
119	Residence	14 Harriott Street, York	B
121	Residence	14 Henry Road, York	B
122	Residence	45 Henry Road, York	B
123	Peppercorn Cottage	68 Henry Road, York	B
124	York Cemetery	83 Herbert Road, York	B
<b>125</b>	<b>York Primary School (fmr)</b>	<b>6 Howick Street, York</b>	<b>A</b>
134	Residence	11 Lincoln Street, York	B
<b>135</b>	<b>Police Quarters (fmr)</b>	<b>5 &amp; 7 Lowe Street, York</b>	<b>A</b>
137	Residence	26 Macartney Street, York	B
138	Residence	28 Macartney Street, York	B
139	Residence	30 Macartney Street, York	B
140	Residence	35 Macartney Street, York	B
143	Residence	54 Macartney Street, York	B
144	Residence	58 Macartney Street, York	B
145	Residence	66 Macartney Street, York	B
146	Residence	68 Macartney Street, York	B
147	Residence	74 Macartney Street, York	B
149	Residence	3 Meares Street, York	B
151	Residence	19 Meares Street, York	B
153	Farmhouse	177 Morris Edwards Drive, Daliak	B
154	Farmhouse	200 Morris Edwards Drive, Daliak	B
156	Residence	268 Morris Edwards Drive, Daliak	B
157	Residence	1 Newcastle Street, York	B
158	Residence	15 Newcastle Street, York	B
159	Kairey Cottage	16 Newcastle Street, York	B
160	Residence (River View Cottage)	18 Newcastle Street, York	B
<b>161</b>	<b>Marwick's Shed</b>	<b>19 Newcastle Street, York</b>	<b>A</b>
162	Residence (Marwick's Cottage)	22 Newcastle Street, York	B
163	Residence (Elm House) & Cottage	24 Newcastle Street, York	B
164	Residence	25 Newcastle Street, York	B
165	Residence	28 Newcastle Street, York	B
166	Residence (Stone Grange)	29 Newcastle Street, York	B
167	Residence	37 Newcastle Street, York	B
168	Residence	42 Newcastle Street, York	B
170	Residence (Whitely Cottage)	60 Newcastle Street, York	B
171	Residence (Craig's Cottage)	71 Newcastle Street, York	B
172	Mile Homestead Ruin Site	113 Newcastle Street, York	B
174	Mt Bakewell Homestead	396 North Road, York	B
175	Residence (Prunsters Cottage)	2974 Northam-York Road, York	B
176	Northam Road Well	Northam-York Road, Craig Street Intersection	B
177	Residence	2995 Northam-York Road, York	B
178	Lott's Cottage	3029 Northam-York Road, York	B

179	Residence	2 Osnaburg Road, York	B
180	Residence	12 Panmure Road, York	B
181	Laurelville	18 Panmure Road, York	B
182	Residence	24 Panmure Road, York	B
183	Residence (Four Winds)	38 Panmure Road, York	B
184	Residence	67 Panmure Road, York	B
189	Residence	29 Pelham Street, York	B
190	Job Bailey's Cottage (fmr)	2 Pool Street, York	B
191	Residence	4 Pool Street, York	B
192	Residence	7 Pool Street, York	B
193	Residence	15 Pool Street, York	B
194	Residence (Butterfly Cottage)	17 Pool Street, York	B
195	Residence	19 Pool Street, York	B
196	Residence	21 Pool Street, York	B
197	Residence (Layla's Cottage)	23 Pool Street, York	B
<b>198</b>	<b>Holy Trinity Anglican Church, Hall &amp; Rectory</b>	<b>30 Pool Street, York</b>	<b>A</b>
<b>199</b>	<b>York Railway Station (fmr)</b>	<b>13 Railway Street, York</b>	<b>A</b>
<b>200</b>	<b>Monument and Park</b>	<b>15 Railway Street, York</b>	<b>A</b>
<b>202</b>	<b>Bridge House &amp; Grounds</b>	<b>1 Redmile Road, York</b>	<b>A</b>
<b>209</b>	<b>Burtens Cottages (aka Elizas Cottage)</b>	<b>9 Revett Place, York</b>	<b>A</b>
210	Residence	6 River Street, York	B
211	York Grammar School (fmr)	11 Seabrook Street, York	B
<b>215</b>	<b>St Patricks Catholic Church, Presbytery and Hall (original church)</b>	<b>22 South Street, York</b>	<b>A</b>
<b>216</b>	<b>Convent of Mercy School (fmr)</b>	<b>27 South Street, York</b>	<b>A</b>
<b>217</b>	<b>Convent of Mercy (fmr)</b>	<b>29 South Street, York</b>	<b>A</b>
218	Residence (Four Julias)	30 South Street, York	B
<b>221</b>	<b>York – Beverley Racecourse</b>	<b>Spencers Brook Road, York</b>	<b>A</b>
222	Spice's Farm	49 Spices Road, Balladong	B
223	Residence	27 Suburban Road, York	B
224	Residence	36 Suburban Road, York	B
225	Residence	40 Suburban Road, York	B
226	Residence	41 Suburban Road, York	B
227	Residence (Collins Stores)	42 Suburban Road, York	B
228	Residence	50 Suburban Road, York	B
229	Residence	56 Suburban Road, York	B
230	Residence	58 Suburban Road, York	B
<b>232</b>	<b>Holy Trinity Rectory</b>	<b>75 Suburban Road, York</b>	<b>A</b>
234	Residence	11 Tenth Road, York	B
235	Residence	13 Tenth Road, York	B
236	Residence	17 Tenth Road, York	B
242	Residence	7 View Street, York	B
243	William James Cottage	13 View Street, York	B
257	Greenhills Bakery	2 Boyles Road, Greenhills	B
258	Greenhills Well	2 Boyles Road, Greenhills	B
260	Greenhills Inn	444 Greenhills Road, Greenhills	B
261	Greenhills Hall	460 Greenhills Road, Greenhills	B
262	Greenhills Post Office	466 Greenhills Road, Greenhills	B
<b>263</b>	<b>Korrawilla Homestead Group</b>	<b>4286 Quairading-York Road, Greenhills</b>	<b>A</b>
<b>264</b>	<b>St Andrews Church &amp; Cemetery</b>	<b>4369 Quairading-York Road, Kauring</b>	<b>A</b>
265	Malebeling Agricultural Hall	Goldfields Road, Malebelling	B
266	Hawkhurst	2449 Northam-York Rd, Malebelling	B
269	Tipperary Farm	45 Burges Siding Road, Quellington	B

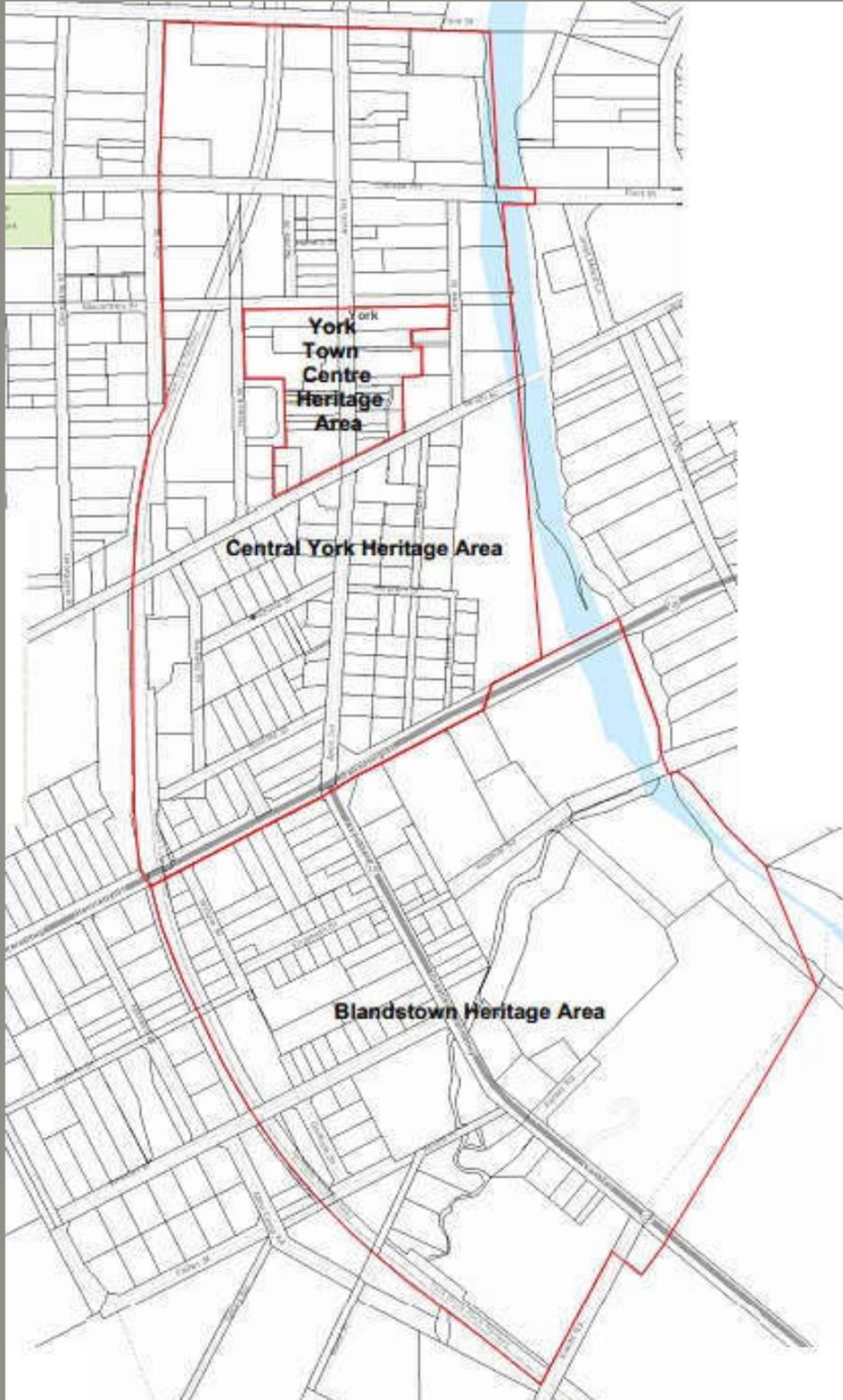
270	Tipperary Homestead	45 Burges Siding Road, Quellington	B
271	St Paul's Church (fmr)	2092 Northam-York Road, Quellington	B
272	Quellington School House (fmr)	835 Sees Road, Quellington	B
273	Quellington School (fmr)	844 Sees Road, Quellington	B
275	Burges Siding School & School Residence	3270 Spencers Brook-York Road, Burges	B
279	Residence (Kerry Downes)	2946 Spencers Brook – York Road, Wilberforce	B
281	St Peter's Anglican Church	6091 Great Southern Highway, Gilgering	B
<b>287</b>	<b>Gwambygine Farm &amp; Pool</b>	<b>5661 Great Southern Highway, Gwambygine</b>	<b>A</b>
289	Talbot Hall (Site Talbot Brook School)	314 Talbot Hall Road, Talbot	B
291	Southoban Farm Convict Ruins	3381 Great Southern Highway, St Ronans	B
<b>292</b>	<b>St Ronans Well</b>	<b>Great Southern Highway, St Ronans</b>	<b>A</b>
293	Convict Road Remnants	Great Southern Highway, Inkpen (13 Mile Brook)	B
<b>294</b>	<b>Charcoal Burner Site</b>	<b>526 Yarra Road, Mt Observation</b>	<b>A</b>

# APPENDIX 2

## HERITAGE AREA'S MAP OVERVIEW

Note:

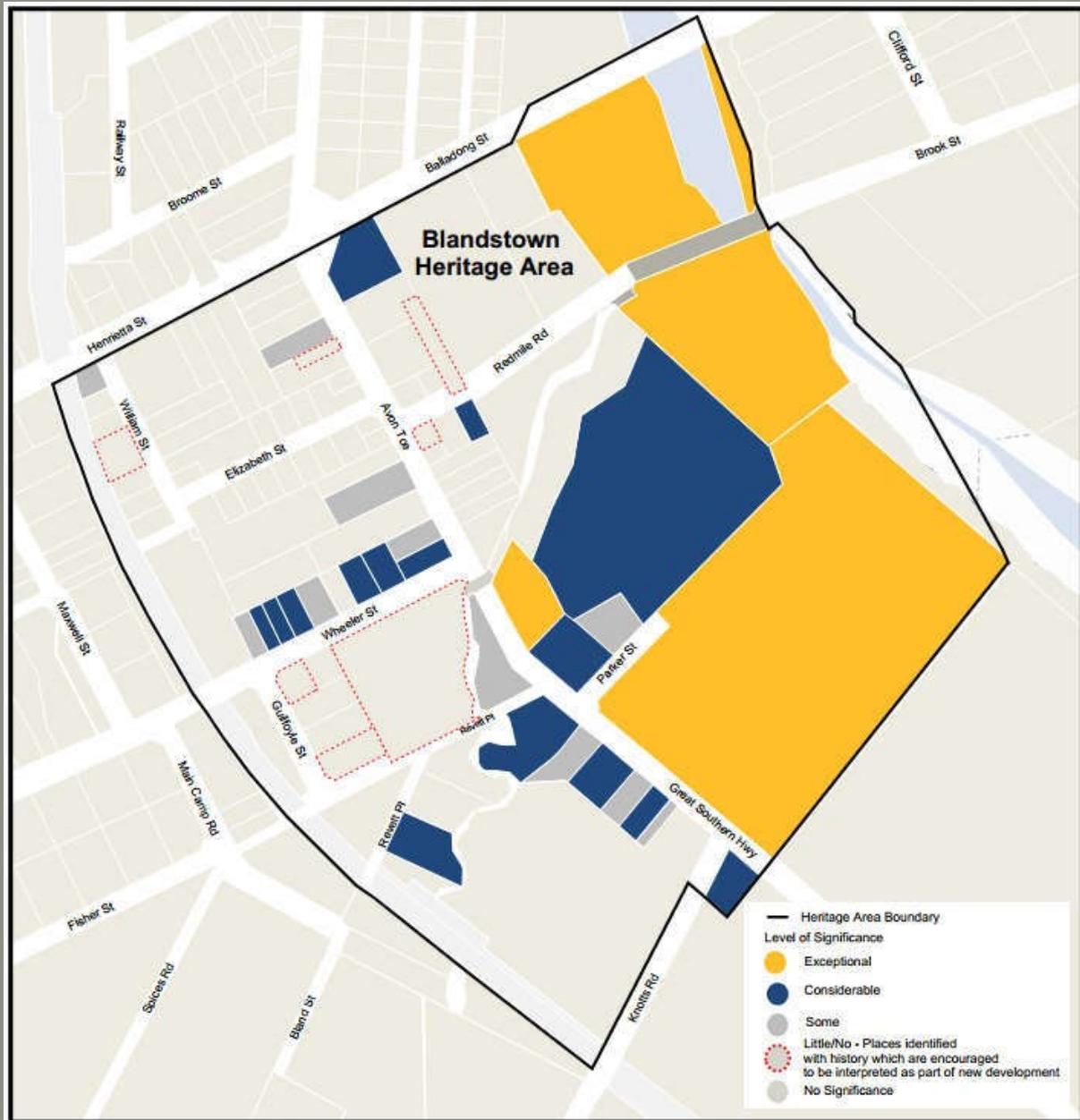
For purposes of this policy, the York Town Centre Heritage Area is included within the Central York Heritage Area.



# APPENDIX 3

## BLANDSTOWN HERITAGE AREA

### Places & Level of Contribution to Heritage Area



PLACE NO.	PLACE NAME	ADDRESS (Lot details set out on Place Sheet in Local Heritage Survey 2019)	CONTRIBUTION TO HERITAGE AREA
5	<b>Balladong Farm</b>	<b>2 Avon Terrace, York</b>	<b>Exceptional</b>
6	Cartref Cottage	7 Avon Terrace, York	Considerable
7	Butchers Shop (fmr)	13 Avon Terrace, York	Considerable
8	Duckham Lying-in House (fmr)	15 Avon Terrace, York	Some
9	Langsford House	18 Avon Terrace, York	Considerable
10	Albion Hotel (fmr)	17-19 Avon Terrace	Considerable
11	Brook Cottage	21 Avon Terrace, York	Some
12	<b>Wansborough House</b>	<b>22 Avon Terrace, York</b>	<b>Exceptional</b>

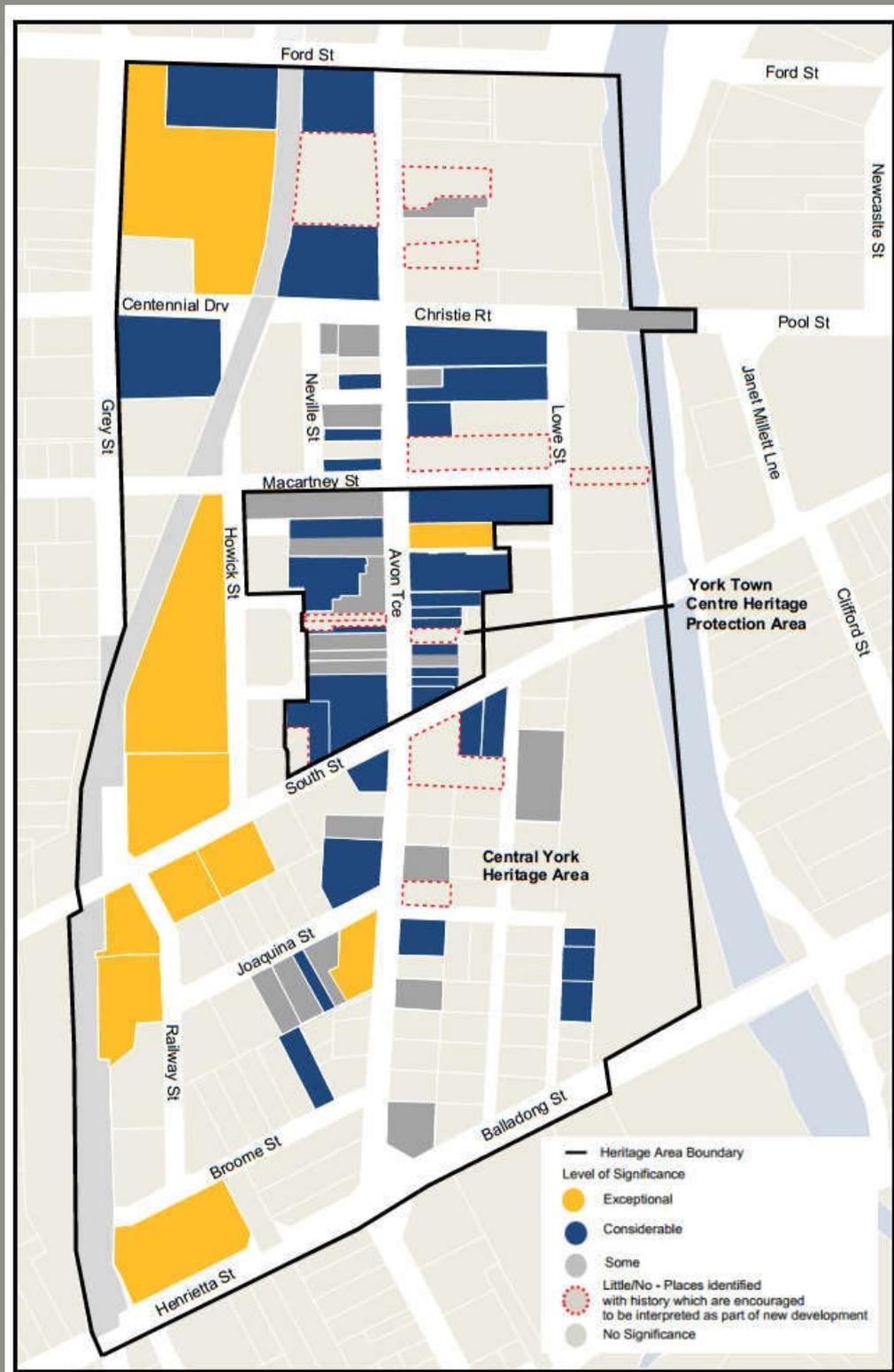
13	Blands Brook Bridge	Avon Terrace, York	Some
14	Residence & Bakehouse (fmr)	29 Avon Terrace, York	Considerable
15	Residence	31 Avon Terrace, York	Some
16	Kings Head Inn (fmr)	37 Avon Terrace, York	Some
17	Mongers Cottage	51 Avon Terrace, York	Little
18	Spencer's bakery (fmr)	53 Avon Terrace, York	Some
63	St John Anglican Church & Cemetery SITE	47 Balladong Street, York	Considerable
116	Residence	2 Guilfoyle Street, York	Little
117	Residence	14 Guilfoyle Street, York	Little
131	Bygraves House & Cobbler Shop (fmr)	5 Knotts Road, Balladong	Considerable
187	Longbottom Cottage	2 Parker Street, York	Some
201	SITE Parker's Bridge	Redmile Road, York	Some
<b>202</b>	<b>Bridge House &amp; Grounds</b>	<b>1 Redmile Road, York</b>	<b>Exceptional</b>
203	Redmile House	2 Redmile Road, York	Exceptional
204	Heals Bridge	Redmile Road, York	Some
205	Balladong House	3 Redmile Road, York	Considerable
206	Clementine Cottage	13 Redmile Road, York	Considerable
207	SITE Rosemary's Cottage	17 Redmile Road, York	Little
208	Kenworthy Cottage	22 Redmile Road, York	Little
<b>209</b>	<b>Burtons Cottage (aka Eliza's Cottage)</b>	<b>9 Revett Place</b>	<b>Considerable</b>
244	York Drive-in Theatre	1 Wheeler Street, York	Little/None
245	Whittlers Cottage	2 Wheeler Street, York	Considerable
246	Wheeler Residence (fmr)	4 Wheeler Street, York	Considerable
247	Residence	8 Wheeler Street, York	Some
248	Cottage	10 Wheeler Street, York	Considerable
249	Kitty Paw Cottage	12 Wheeler Street, York	Considerable
250	Eglantyne Cottage	14 Wheeler Street, York	Considerable
251	Residence	16 Wheeler Street, York	Some
252	Residence	9 William Street, York	Little
253	Crossing Cottage	13 William Street, York	Some

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

# APPENDIX 4

## CENTRAL YORK HERITAGE AREA

### Places & Level of Contribution to Heritage Area



NO.	PLACE NAME	ADDRESS	CONTRIBUTION TO HERITAGE AREA
19	Residence	58 Avon Terrace, York	Some
20	Residence	68 Avon Terrace, York	Some
21	Residence (Spooky Hall)	72 Avon Terrace, York	Considerable
22	Shop	74 Avon Terrace, York	Little
<b>23</b>	<b>York Town Hall</b>	<b>79-81 Avon Terrace, York</b>	<b>Exceptional</b>
24	4 Shops	82 Avon Terrace, York	Some
<b>25</b>	<b>Imperial Hotel</b>	<b>83 Avon Terrace, York</b>	<b>Considerable</b>
26	Saints' (fmr)	87 Avon Terrace, York	Some
27	Sargents Pharmacy (fmr)	93 Avon Terrace, York	Considerable
28	SITE Royal Hotel	94 Avon Terrace, York	None
45	SITE Western Australian Bank Wheelers Row Dusty Miller Inn	142 Avon Terrace, York	None
47	West Australian Bank (fmr)	147 Avon Terrace, York	Considerable
48	Union Bank (fmr)	148 Avon Terrace, York	Considerable
<b>49</b>	<b>Council Chambers (fmr)</b>	<b>151 Avon Terrace, York</b>	<b>Considerable</b>
50	W Dinsdale's Bootmakers (fmr)	152 Avon Terrace, York	Considerable
51	York Motor Garage (fmr)	153 Avon Terrace, York	Some
52	Stirling's Residence (fmr): CWA	154 Avon Terrace, York	Considerable
53	Bank of Australia (fmr)	155 Avon Terrace, York	Considerable
54	Penola House & Outbuildings	156 Avon Terrace, York	Considerable
55	Residence	161 Avon Terrace, York	Some
56	RSL York Sub Branch	164 Avon Terrace, York	Little
<b>57</b>	<b>Mongers Trading Post (fmr) Mongers Store</b>	<b>165 Avon Terrace, York</b>	<b>Considerable</b>
58	Billiard Room (fmr)	168 Avon Terrace, York	Some
59	York Hotel SITE	170 Avon Terrace, York	None
<b>60</b>	<b>Mongers Trading Post (fmr) Mongers Yard SITE</b>	<b>173 Avon Terrace, York</b>	<b>None</b>
<b>61</b>	<b>Mongers Trading Post (fmr) Sandalwood Yards</b>	<b>179 Avon Terrace, York</b>	<b>Considerable</b>
72	Stratford House Maternity Hospital (fmr)	4 Broome Street, York	Considerable
<b>73</b>	<b>York Flour Mill</b>	<b>11 Broome Street, York</b>	<b>Exceptional</b>
77	Uniting Church, Hall, Manse	109 Centennial Drive, York	Considerable
78	SITE Mongers Town Precinct	Christie Retreat/Avon River/Alfred Street/Ford Street	None
79	York Swing Bridge (Suspension)	Christie Retreat/Avon River	Some
80	Residence	53 Christie Retreat, York	Some
88	Faversham Stables/Coach House	9 Ford Street, York	Considerable
<b>109</b>	<b>Faversham House</b>	<b>24 Grey Street, York</b>	<b>Exceptional</b>
<b>125</b>	<b>York Primary School (fmr)</b>	<b>6 Howick Street, York</b>	<b>Exceptional</b>
126	Shire of York Administration Office	1 Joaquina Street, York	Some
127	York Masonic Lodge	3 Joaquina Street, York	Considerable
128	Infant Health Clinic (fmr)	5 Joaquina Street, York	Some
129	Warehouse	7 Joaquina Street, York	Some
136	Rotunda	14 Lowe Street	Little
152	Residence	22 Monger Street, York	Some
<b>199</b>	<b>York Railway Station</b>	<b>13 Railway Street, York</b>	<b>Exceptional</b>
<b>200</b>	<b>Monument and Park</b>	<b>15 Railway Street, York</b>	<b>Exceptional</b>
212	Residence	9 South Street, York	Considerable
213	Residence	11 South Street, York	Considerable
<b>215</b>	<b>St Patrick's Church Group</b>	<b>22 South Street, York</b>	<b>Exceptional</b>
<b>216</b>	<b>Convent of Mercy School (fmr)</b>	<b>27 South Street, York</b>	<b>Exceptional</b>

<b>217</b>	<b>Convent of Mercy (fmr)</b>	<b>29 South Street, York</b>	<b>Exceptional</b>
238	Residence	8 Thorn Street, York	Considerable
239	Residence	12 Thorn Street, York	Considerable
240	Residence	14 Thorn Street, York	Considerable

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

### York Town Centre Heritage Area

NO.	PLACE NAME	ADDRESS	CONTRIBUTION TO HERITAGE AREA
29	Castle Hotel	95-103 Avon Terrace, York	Considerable
30	Davies Building	96-102 Avon Terrace, York	Considerable
31	Collins Building	104-106 Avon Terrace, York	Considerable
32	Central Buildings	105-113 Avon Terrace, York	Some
33	Collins Shops	108-112 Avon Terrace, York	Some/Considerable
34	Commonwealth Bank (fmr)	114 Avon Terrace, York	Little
35	Ezywalkin Boot Co (fmr)	115 Avon Terrace, York	Considerable
36	York Motor Museum	116-122 Avon Terrace, York	Considerable
37	Butcher Shop & Café	117-119 Avon Terrace, York	Little
38	Shops, Residence & Baker (fmr)	121-123 Avon Terrace, York	Some
<b>39</b>	<b>York Courthouse Group</b>	<b>124-130 Avon Terrace, York</b>	<b>Considerable</b>
40	Settlers House	125 Avon Terrace, York (behind)	Considerable
41	Collins (5) Shops	127-135 Avon Terrace, York	Some
<b>42</b>	<b>York Post Office</b>	<b>134 Avon Terrace, York</b>	<b>Exceptional</b>
<b>43</b>	<b>Edwards Store (fmr) York Co-op</b>	<b>136-140 Avon Terrace, York</b>	<b>Considerable</b>
44	Shops, Auction Mart, Pykes Store and Residence (fmr)	137-143 Avon Terrace, York	Some/Considerable
46	Palace Hotel (fmr) York Hotel	145 Avon Terrace, York	Some
<b>135</b>	<b>Police Quarters (fmr)</b>	<b>5 &amp; 7 Lowe Street, York</b>	<b>Considerable</b>
214	SITE Print Shop	16 South Street, York	None

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

# APPENDIX 5

## LANDSCAPING AND GARDEN SETTING GUIDELINES

Further guidelines are provided below for interested persons on materials used for driveways, paths and types of residential gardens:

### **Driveways and Paths**

Traditional driveways and paths in the Central York, York Town Centre and Blandstown Heritage Areas were of local gravel or red clay.

The suggested materials for new driveways in the Heritage Areas include gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete. Footpaths in gravel and brick paving are suitable for older houses. Brick and concrete paving is suitable for contemporary houses.

### **Gardens**

Gardens can be a source of delight and an expression of individuality. Remnants of traditional gardens are as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that these be conserved and ideally, new gardens would be designed to integrate with them. Front gardens are an important part of the streetscape and every endeavour should be made to enhance the character of York. Using traditional garden layouts and species that are tolerant of low water usage can also be an effective landscape strategy.

In order to maintain the garden settings of the Blandstown Heritage Area, the following landscaping principles are recommended:

- Landscaping associated with new development should reflect current 'Waterwise' garden principles, while maintaining a sympathetic approach to their general context. Use of drought tolerant species to encourage water conservation is preferred.
- Significant gardens that reflect their origins and contain authentic plant material should be conserved and integrated with new features in a sympathetic manner.
- Typically gardens in Blandstown area are simply laid out with a central path, lawns, planting beds and specimen tree planting. New gardens should be simply planned with a high proportion of lawn or low native ground covers over garden beds, perimeter beds, central beds and specimen tree plantings in larger gardens.
- Traditional tree plantings include Olive, jacaranda, magnolia, flooded gum, fruit trees and Canary Island Palms in larger gardens. In small gardens, fruit trees including mulberry, almond, citrus and crepe myrtle are common.
- Trees that shed branches, such as Sugar Gums and Lemon Scented Gums, are to be avoided.
- The principles of a traditional garden layout include:
  - Simple format and balanced layout, with less formality in planting.
  - A straight path from the gate to the front door, preferably centrally placed. Alternatively, the path may follow the side boundary and cut across at right angles to the front door.
  - For larger, more formal gardens a circular path or driveway with a central feature such as a specimen tree, flower bed or fountain.
  - Symmetrical garden layouts usually accompany a symmetrical house facade. Asymmetrical facades, i.e. buildings with side verandahs, should be treated differently.
  - Garden beds usually small in relation to lawn (or ground cover) area.
  - Lawns (or ground covers) planted with specimen trees, including deciduous trees, conifers, fruit trees or eucalypts.
  - Planting designed to create variety and year-round interest.
  - The common use of climbers, creepers, edging plants, hedges and bulbs.

# APPENDIX 6

## GUTTER PROFILES TYPICAL TO HERITAGE BUILDINGS



Half round gutter profile



Quarter round gutter profile



Colonial gutter profile



Ogee gutter profile

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[www.lysaght.com](http://www.lysaght.com)