

SHIRE OF YORK LOCAL PLANNING POLICY

HERITAGE CONSERVATION & DEVELOPMENT

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1. INTRODUCTION

The Shire of York was declared a Historic Town by the National Trust of Australia (WA) in 1980 and contains a significant collection of heritage assets. It still has much of the charm and character of an early colonial settlement and retains a significant legacy of buildings of historic and architectural value from the 19th and early 20th centuries.

The Shire's Local Planning Strategy highlights the importance of the cultural heritage significance of Heritage Areas and Places as part of the Shire's built environment, where it is a specific objective to ensure that its heritage values are protected and preserved, and that new development enhances these values.

There are 171 places listed on the Shire of York's Heritage List identified as having cultural heritage significance and worthy of built heritage conservation, and three distinctive heritage areas within the Shire of York which are identified as needing special planning control to conserve and enhance the cultural heritage significance and character of an area.

The purpose of this policy is to:

- provide development and design guidance within the designated heritage areas;
- apply the development control principles contained in State Planning Policy 3.5 Historic Heritage Conservation;
- detail procedures for making applications for development approval within places on the heritage list and heritage areas.
- conserve heritage value and characters that are highly valued by the community and retain and enhance those qualities as the town develops through time.
- give property owners and the Shire an understanding of the qualities of heritage values and ensure that additions or alterations to existing buildings and new developments do not diminish the overall context and character of heritage areas.

1.1. Authority to prepare and adopt a Local Planning Policy

Schedule 2, Part 2, Clause 3(1) of the *Planning and Development (Local Planning Schemes) Regulations 2015* (referred as deemed provisions) provides the ability for a local government to prepare a local planning policy in respect of any matter related to the planning and development within its Scheme area.

In accordance with Schedule 2, Part 3, Clause 9(2) it is a requirement in designating a 'heritage area' that the local government adopt a local planning policy including a map showing the boundaries of the heritage precinct, a statement about the heritage significance of the area, and include a record of places of heritage significance in the heritage area.

1.2. Relationship of this Policy to State Planning Policy 3.5 Historic Heritage Conservation & other Local Planning Policies

If a provision of this Policy is inconsistent with State Planning Policy 3.5 – Historic Heritage Conservation, the State Planning Policy prevails.

This policy prevails in the event of inconsistency with other local planning policies.

2. APPLICATION OF THE POLICY

2.1. Application of Policy

This policy applies to all development within the:

- Blandstown Heritage Area as identified in **Appendix B**;
- York Town Centre Heritage Area as identified in **Appendix B**;
- Central York Heritage Area as identified in **Appendix B**; and
- Places on the Heritage List (**Appendix A**).

In considering any development applications for places on a heritage list or land within a heritage area, including alterations, extensions, modification or demolition of existing buildings, the Shire will apply and have regard to the:

- the matters set out in section 6.5 and 6.6 of the State Planning Policy 3.5 Historic Heritage Conservation.
- Matters and provisions set out in Parts 1, 2, 3, 4 and 5.
- the level of significance of a place and/or contribution a place makes to the significance of an area.
- the structural condition of a place, and whether a place is reasonably capable of conservation.

The Council may vary the requirements of this Local Planning Policy, where it is considered that such variation is warranted in the circumstances of the case. In application of the policy, interpretations and definitions shall be as set out in the *Planning and Development Act 2005*, *Planning and Development (Local Planning Schemes) Regulations 2015*, Local Planning Scheme, Residential Design Codes or **Appendix 6** of this policy.

Dividing fences are exempt from requiring development approval where:

- (a) the place is not listed on the State Heritage Register;
- (b) the fence does not abut or adjoin or is located parallel to a public thoroughfare (roads, reserves, pedestrian accessways);
- (c) the fence is situated a minimum of 2m behind the building line from any thoroughfare;
- (d) at entries to driveways, the fence is no more than 750mm in height or truncated a minimum of 1.5m;
- (e) the fence is not higher than 1.8m from natural ground level;
- (f) the fence is constructed of colorbond sheeting, local stone, timber picket, picket, red brick or local stone piers, timber post and rail with chain mesh.
- (g) Colours are consistent with the Shire of York colour palette, which can be obtained from the Shire of York council office.
- (h) The fence location does not impede or obstruct any pedestrian or vehicle thoroughfares approved on a property.

The exemption does not negate the need for dividing fences to comply with the Shire of York Local Laws relating to Fencing.

The Shire of York will waive the initial application fee associated with a proposal to change the colour scheme of a building, where the proposal involves the painting of areas previously lawfully painted and the colour scheme complies with the provisions of this Local Planning Policy.

2.2. Policy Objectives

The primary objectives of this policy are:

- a) To conserve and protect places of cultural heritage significance and worthy of built heritage conservation as identified in the Shire's Heritage List (Appendix A);
- b) To conserve existing places identified as being of 'exceptional', 'considerable' or 'some' significance to the cultural heritage significance of a heritage area; and
- c) To ensure that new development, including alterations and additions to existing buildings and the construction of new buildings, does not adversely impact on the cultural heritage values, significance and character of heritage places and areas.

2.3. Structure of Policy

This Policy has been structured in a way that provides general guidelines to be observed for heritage places and all designated heritage areas and provides development guidelines for specific issues such as signage and policy provisions for residential and commercial development within the Blandstown, York Town Centre and Central York heritage areas. The format is as follows:

Part 1 Overview – Provides an overview of the heritage significance of the areas

Part 2 General Guidelines - Development guidelines for heritage places and areas.

Part 3 Residential Development - Development guidelines for all residential, and commercial development within the Blandstown Heritage Area and all residential development within the York Town Centre and Central York heritage areas.

Part 4 Commercial Development – Development guidelines for all commercial development within the York Town Centre and Central York heritage areas. Mixed use development must have regard to the policies contained in Part 3.

Part 5 Signage - Development guidelines for signage within the Blandstown, York Town Centre and Central York heritage areas.

The policy includes commentary notes in the shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

PART 1 – OVERVIEW

1.1 Statements of Significance

The townsite of York was gazetted in November 1830, and the first settlers moved into the area the following year. The first town allotments were sold in 1835. York was one of the earliest rural settlements and the first inland town of the colony and developed as the service and administrative centre for the Avon Valley. A convict depot was established for the town in 1851. It helped the local economy and provide labour for public works. In 1871, York was declared a municipality; the fourth largest town in the state, behind Perth, Fremantle and Albany.

York was declared a Historic Town by the National Trust of Australia (WA) in 1980. It still has much of the charm and character of an early colonial settlement and retains a significant legacy of buildings of historic and architectural value from the 19th and early 20th centuries. The Blandstown, York Town Centre and Central York heritage areas comprise areas east of the railway line with an extension over the Avon River.

The substantial representation of Victorian/Colonial and Federation residential, commercial and civic buildings within the Central York, York Town Centre and Blandstown Heritage Areas provides a significant historic environment that informs of the foundation to the background of the town. The majority of the of the area excluding the special precincts, presents a predominantly single storey residential setting of similar scale, materials, roof forms and the site application, with a varying degree of heritage significance.

The cumulative effect of the scale, massing, texture, materials, colour and detail of individual buildings and their sites provide visual characteristics which have formed in distinctive periods from the early town establishment in the 1860s and 1870s, through to the twentieth century, clearly demonstrating the aesthetics of the periods.

Blandstown Heritage Area

After York was opened for selection in 1830, the first settlers, arrived in 1831 from the Swan River settlement with the task of establishing a Government Farm. Balladong Farm was settled in 1831 by William Heal, later H. Bland after whom Blandstown is named. Stephen Stanley Parker purchased Balladong Farm in 1848. During the 1850s, Parker developed the property into a very successful farm.

The “village” now known as Blandstown, is the oldest privately settled part of the York town, developed around Balladong Farm due to the influential presence, water supply, and the river crossing. It comprises dominant homesteads, but predominantly single-storey masonry dwellings, some with associated business, two double-storey places, one previously an inn, and also represents a few places of the twentieth century. Blandstown Heritage Area is significant for the following reasons:

- Blandstown Heritage Area represents historical associations with Revett Henry Bland, Governor Stirling’s appointee to the district and the original owner of the land that the Parker family later owned and developed as Balladong Farm and facilitated the village that developed as Blandstown.
- Blandstown Heritage Area demonstrates the development of an early colonial settlement dating from the 1850s retaining some of York’s earliest dwellings and other buildings representing ways of life and commercial enterprises of this early inland town.
- It has the potential to yield valuable archaeological, physical and documentary information that will contribute to an understanding of the cultural heritage of Western Australia, particularly in relation to early farming practices and the relationship between the farm and the broader rural community.
- Blandstown is a unique cultural environment, in Western Australia’s earliest inland town, that has retained a high degree of intactness and authenticity and makes a considerable contribution to the historical aesthetic of York.

Central York Heritage Area

The townsite of York was gazetted in November 1830, and the first settlers moved into the area the following year. The first town allotments were sold in 1835. York was one of the earliest rural settlements and the first inland town of the colony and developed as the service and administrative centre for the Avon Valley. A convict depot was established for the town in 1851. It helped the local economy and provide labour for public works. In 1871, York was declared a municipality; the fourth largest town in the state, behind Perth, Fremantle and Albany.

The Central York area developed north of Blandstown and west of the Avon River, with JH Monger being the prominent identity of what was referred to as Mongerstown. The Central York Heritage Area mainly comprises single storey residential and commercial buildings though the Avon terrace spine and on the north and west edges.

The dominant town centre of Avon Terrace within the Central York Heritage Area comprises a number of substantial two storey commercial buildings that form a continuum of late 19th and early 20th buildings along both sides of Avon Terrace between Macartney and South Streets. (Refer to York Town Centre HPA). The Central York Area is significant for the following reasons:

- Central York Heritage Area represents the broad social and economic changes from the mid-nineteenth century in the remaining intact physical and cultural environment contributing to an understanding of the development of York.
- The landmark buildings within the Central York Heritage Area demonstrate the optimism and of York with the exceptional York Town Hall, Imperia and Castle Hotels; the government infrastructure of the railway station and original primary school; the landmark York Mill, Mongers Trading Post, the convent, Catholic school, Catholic Church group; and, the Avon Terrace Centre ((Refer to York Town Centre HPA) make an outstanding contribution to the historic aesthetic of York.
- The cumulative effect of the scale, massing, texture, materials, colour, and detail of individual buildings including residential, inform of the distinctive periods and architectural styles from early town establishment in the 1860's and 1870's, the boom period of the 1890's Federation style, the twentieth century developments of the early 1900's and the prosperous surge in the late 1930's and later decades.
- Central York Heritage Area epitomises the development of the York town, retaining the integrity and authenticity with a continuum of function, and a community pride and sense of place that celebrates the cultural environment that is York.

York Town Centre Heritage Area

In 1881, the Eastern railway from Fremantle to Guildford opened, and by 1885, extended to York. With the discovery of gold in the early 1890s, York became a terminal for prospectors heading for Coolgardie and Kalgoorlie and a supply point for mail, food and water. The growth of the town and the district continued due to the general prosperity created by the gold boom and the agricultural expansion that followed in the first decade of the twentieth century. The York Town Centre Heritage Area is significant for the following reasons:

- York Town Centre Heritage Area represents the development of York in the outstanding Avon Terrace street block along both sides, with a continuum of single and double storey commercial buildings of the Victorian and Federation periods, book-ended each end with double-storey landmark buildings.
- York Town Centre Heritage Area is of considerable significance for the distinctive features of the architectural styles and periods of the buildings and their functions.
- The existing original fabric of the architectural styles and periods of the buildings, for the most part, has retained its integrity and authenticity and is significant in demonstrating its association with early development of the town of York, and the period after the 1885 railway, with a range of substantial premises that demonstrate the prosperity of the York.

- The range of owners, entrepreneurs, managers, and functions of the places within the area represent associations with generations of local identities, townsfolk and farmers from the York region.
- York Town Centre Heritage Area; an entire block of continuous substantial buildings on both sides of Avon Terrace represents the long-term value of the community's sense of place for its continued role as the town's social, business and retail centre and in more recent decades, the significance of tourism attraction to York.

1.2. Why are Heritage Areas Important?

Historic character can be devalued and compromised by unsympathetic or non-responsive new development, including additions to existing buildings. Placing new buildings and additions in an historic context requires careful analysis to identify the important elements of the overall heritage character that must be respected.

The character of an area is influenced by a number of contributing factors including:

- landform;
- distinctive landscape elements;
- the pattern of subdivision;
- date and style of buildings;
- scale and form of buildings;
- building setbacks;
- materials, building techniques and details;
- views, vistas and skylines; and
- the use mix and activities.

Developments that appear most out of character share similar design attributes. This includes buildings that are too large in scale (both height and mass), are "box-like" in appearance, lack sufficient surface articulation, and/or are presented in strong or garish colours that are out of place with their surroundings. It is these characteristics that should be discouraged in future developments.

Character is also shaped by the relationship between the proportion of solid to void in walls, or the amount of window contained by a wall, together with the play of light, shadows, and the proportion of openings in walls.

The Local Planning Policy for the Central York, York Town Centre and Blandstown Heritage Area is based on the primary elements that comprise the character of an area – scale or size, form, siting, materials and colours, and detailing. Examples are also provided of existing harmonious or sympathetic developments that respond to these primary elements in an acceptable manner.

PART 2 – GENERAL GUIDELINES

All development on or within a Heritage Place or Area shall comply with the policy provisions outlined in this part.

2.1. Principles of Development Guidelines

- (a) All development shall enhance and reinforce the historic character of the place and/or area;
- (b) All new development in heritage places and areas shall respect their historic context and respond to the existing character, scale, form, siting, material and colours in accordance with the provisions of the Burra Charter;
- (c) New buildings shall not be direct copies of heritage buildings and should be visually distinguishable from them. It is important to distinguish between heritage and new places so that heritage values are not diminished by replication;

- (d) Buildings should be sited to respect the existing pattern of development of heritage areas, with buildings set squarely on lots and front and side setbacks which mirror the scale of the streets providing that the location takes into consideration energy efficiency standards and requirements under the Building Code of Australia.
- (e) Heritage buildings shall be retained and conserved wherever possible, as these places, in combination with the streetscape, are the main determinants of the character of the heritage area;
- (f) New construction, demolition, intrusions or other changes that would adversely affect the setting or relationships within the heritage area are not appropriate;
- (g) Historic outbuildings such as stables and sheds often form an integral part of the heritage landscape and should be conserved where practicable;
- (h) Additions to Heritage Places must ensure that they do not visually intrude on the existing building or street context and that they are in sympathy with the character of the existing property. Additions should be distinguishable from the original building and the distinction may be subtle if desired.

2.2. Significance of Heritage Place and Contribution of Existing Places to Heritage Areas

The level of significance of a place to the cultural heritage significance of the locality and its contribution to the cultural heritage significance of a Heritage Area is one of the matters considered in determining an application.

One of the following levels of significance is applied to each place identified in **Appendix 1, 3 & 4**.

Heritage List of Places:

Level of Significance	Description	Desired Outcome
A. Exceptional significance	Essential to the heritage of the locality. Rare or outstanding example.	The place should be retained and conserved. Any alterations or extensions should reinforce the significance of the place, and be in accordance with a Conservation Plan (if one exists for the place).
B. Considerable significance	Very important to the heritage of the locality. High degree of integrity/authenticity.	Conservation of the place is highly desirable. Any alterations or extensions should reinforce the significance of the place.

The York Central, York Town Centre and Blandstown Heritage Areas are identified in the Heritage List as having considerable significance and being very important to the heritage of the locality where conservation is highly desirable. The level of contribution that a place within the heritage area makes to the considerable significance of a heritage area is outlined below and to be considered in any development application for a place within a precinct.

Level of Significance	Description	Desired Outcome
Exceptional significance	Essential to the heritage of the locality/area. Rare or outstanding example.	Register of Heritage Places (existing) Retain and conserve the place. Any alterations or extensions should reinforce the significance of the place and be in accordance with a Conservation Plan (if one exists). Prepare a Heritage Impact Statement for any additions or proposed impact to the fabric.
Considerable significance	Very important to the heritage of the locality/area. High degree of integrity/authenticity.	Conservation of the place is highly desirable. Any alterations or extensions should reinforce the significance of the place. Minimal impact to the original fabric and/or form. Prepare a Heritage Impact Statement for any additions or proposed impact to original fabric.

Some Significance	Contributes to the heritage of the locality/area. Has some altered elements, not necessarily detracting from the overall significance.	Conservation of the place is desirable. Any alterations or extensions should reinforce the significance of the place, and original fabric should be retained wherever feasible. Interpret an existing site, ruin or archaeological remnants.
Little/No Significance	May have some elements of historical interest but otherwise minimal.	Any development, demolition or new build must respond to the immediate historical context and overall heritage significance of the area.

The level of contribution each place makes to a heritage area is detailed in **Appendix 3 and 4**.

2.3. Demolition of Heritage Places

Demolition of a place listed on the Heritage List is rarely appropriate and is not likely to be supported by Council. Applications for demolition of a place on the State Register will be referred to the Heritage Council of Western Australia for comment prior to Council's determination.

Demolition of a Heritage Place should be avoided wherever possible. An application to demolish a heritage place must include clear justifications for the demolition and should be based upon the following:

- (a) The significance of the building or place
- (b) The feasibility of restoring or adapting it or incorporating it into new development;
- (c) The extent to which the community would benefit from the proposed development; and
- (d) The provisions of this Local Planning Policy.

Council is unlikely to support the demolition of a heritage place based solely on the economic viability of redeveloping a site or because a building has been neglected.

Where Council supports the demolition of a heritage place, the applicant may be required, as a condition of approval, to submit an archival record of the place prior to the demolition occurring. The archival record is to be in accordance with the State Heritage Office standards for archival recording.

2.4. APPLICATION REQUIREMENTS

The Shire of York may require an applicant to provide one or more of the following to assist the local government in the determination of its application. This is additional to the requirement for accompanying material set out in Clause 63 of Part 8, Schedule 2 of the deemed provisions for local planning schemes (*Planning and Development (Local Planning Schemes) Regulations 2015*).

- a) A Heritage Impact Statement.

Consistent with the provisions of Clause 11 of Part 3, Schedule 2 of the deemed provisions for local planning schemes, if a proposal will have a substantial impact on the exterior fabric of a place of considerable contribution or some/moderate contribution, the Shire may require a heritage impact statement (in a format consistent with the State Heritage Office standards) to be submitted addressing three main questions:

- how will the proposed works affect the significance of the place and area?
- what alternatives have been considered to ameliorate any adverse impacts?
- will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

If a proposal affects a place that is entered in the State Register, or a large or complex place of considerable significance, the Shire may require a Conservation Plan to be prepared. Such cases will be rare.

- b) Streetscape elevations drawn as one continuous elevation to a scale not smaller than 1:100 showing the proposed development and the whole of the existing development on each lot immediately adjoining the land the subject of the application.
- c) a detailed schedule of all finishes, including materials and colours of the proposed development.
- d) a description of the finishes of the existing developments on the subject lot and on each lot immediately adjoining the subject lot.
- e) Structural Condition Assessment in the Case of Demolition. If structural failure is cited as a justification for the demolition of a place of considerable significance or some/contributory significance, evidence should be provided from a registered structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significance fabric and/or prohibitive costs.

The Council retains the right to seek any independent advice, including the comments of the Heritage Council of Western Australia or their Regional Heritage Advisor, on development proposals or applications for demolition. The Council also retains the right of passing on the costs of obtaining such advice to the applicant.

DEVELOPMENT OF BUILDINGS ON THE STATE REGISTER OF HERITAGE PLACES

Any new development of a building on the State Register of Heritage Places may be discussed and negotiated with the Heritage Council of Western Australia and Shire of York prior to the submission of a development application.

Development proposals affecting places on the State Register must be referred by the Shire of York to the Heritage Council for advice as per the *Heritage of Western Australia Act 1990*.

PART 3.0 RESIDENTIAL DEVELOPMENT

3.1. EXTENT OF APPLICATION

The development guidelines of this part shall apply to all residential development, including new buildings, extensions, alteration, addition or modification of existing buildings within the Central York and Blandstown Heritage Areas. Where the residential development occurs on the same site as a commercial building or with some other form of mixed use development, the Policy Guidelines shall be given due consideration. The development guidelines of this part shall also apply to commercial development within the Blandstown Heritage Area.

All residential development within a Heritage Areas is required to comply with the Residential Design Codes. Where there is inconsistency between the Residential Design Codes and the provisions of this Policy and the Scheme, the Scheme and Policy shall prevail.

3.2. OBJECTIVES

- (a) To facilitate residential development that respects the existing character of an area;
- (b) To ensure that all new residential buildings, alterations or extensions to existing dwellings are sympathetic to the predominant form, siting and appearance of existing and neighbouring buildings and the streetscape;
- (c) to maintain the heritage value of significant buildings and streetscapes.

3.3. DEVELOPMENT GUIDELINES

The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

3.3.1 Scale and Size

The scale of a building is its size in relation to its context, either as part of an existing house, existing neighbouring buildings or landscape, or a combination of these. The resulting development proposal should look as if it belongs to the area in terms of scale. Scale is one of the prime determinants of an area's character, and if scale is not correctly determined, there is little prospect of correcting the negative impact of an out-of-scale development. The use of tree and shrub plantings to hide over-scale buildings is rarely successful and should not be relied upon as a correction tool.

Most dwellings in the Heritage Areas are single storey. The pattern of arrangement and size of buildings in Blandstown & Central York is an important part of its character and this varies little from street to street. The street layout and subdivision pattern provide a strong influence in scale through the width of streets and the frontage of blocks to those streets.

Further subdivision can alter this aspect of scale and for this reason, any applications for subdivision within the Areas will be carefully scrutinised by the Shire prior to any recommendation made to the Western Australian Planning Commission.

The size of additions or extensions to existing buildings is also important and must comply with the same principles. Additions should not be more imposing than the original building. For verandah restorations, look for evidence of what may have been removed before planning a replacement and in the absence of evidence, ensure that the design approach matches the style for the period of construction of the place.

The scale of all residential development must respect:

- (a) The scale of adjoining and nearby buildings in the street;
- (b) The surrounding landscape; and
- (c) The scale of the existing building, in the case of additions, extensions or modifications.

Note: The current Residential Planning Design Codes over Blandstown is R40, where sewer is available, other lots are zoned R10/General Agriculture, which are under review. Development at this scale is considered excessive and to meet the design criteria and the objectives development should be favoured at R10.

Two storey buildings will only be supported on lots of a size consistent with the R40 density code or higher.

On lots less than the R40 density, residential development shall maintain the appearance of a predominantly single storey streetscape. Two storey buildings may be considered on lots of a size less than the R40 density code where:

- (a) the additional storey is situated under the natural ground level at the street, due to the slope of the land and without the need for substantial cut and fill;
- (b) Where the bulk of the second storey is situated towards the rear of the building, or
- (c) Where there is evidence that the below ground storey is demonstrated to be protected from inundation.

Other architectural design techniques, such as the breaking up of long walls into bays, the arrangement of openings and fragmenting roof forms, should be considered to reduce the scale of larger buildings.

All development must be sympathetic to the existing land contours and natural features. No more than 500mm of cut or fill may be permitted as part of any residential development, unless such cut or fill is to match the height and scale of an existing building. Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development occurring warrant higher retaining walls. No filling shall be permitted on the Avon River flood plain.

A minimum 15 degree roof pitch is required on all new verandahs. The addition of a verandah to an existing building shall either continue the same roof pitch of the existing building or change the pitch, provided that a minimum 15 degree roof pitch is achieved.

3.3.2 Form

The form of the building is its overall shape, size and the general arrangement of its main parts. Traditionally, residences in the Areas have been simple and rectangular, with steeply pitched roofs. Although other features can be disguised or concealed, roof lines will remain prominent, especially on a hillside.

Residential development in Central York and Blandstown Heritage Areas should be sympathetic to the predominant form of the neighbouring dwellings and existing building, in the case of additions and modifications. Where a building form is highly repetitive, such as in the smaller scale streets of the Blandstown Heritage Area, significant departures in form will appear at variance to the streetscape. New buildings in highly cohesive streetscapes should not interrupt that cohesiveness of form.

The treatment of the façade in terms of the proportions, materials, number of openings, ratio of window to wall etc. will also affect how a new building relates to its neighbours and how an addition relates to an existing building. Symmetrical facades with doors into central corridors are commonly used in the Blandstown Heritage Area and this motif could be used for new buildings.

All residential development shall respond to and reinforce the existing characteristics of a streetscape or neighbourhood with regard to building appearance, plate and wall heights, roof form, ridge lines, parapet lines, roof slopes and eaves overhangs.

Roof lines shall be hipped or gabled and shall have a minimum slope of 25 degrees. Eave overhangs shall be a minimum of 300mm wide. A skillion roof as an extension of an original roof form may be acceptable.

All window and door openings shall have a vertical emphasis, which means they shall be long and narrow in appearance.

Additions, extensions and modifications to existing buildings shall not be more visually imposing than the original building. Front facades should not be extended forward of the existing building.

Additions, extensions or modifications shall respect and integrate with the roof line of an existing building.

Two storey extensions to an existing building should be set well back towards the rear of the property to minimise the visual impact on the streetscape or could be accommodated within the existing roof space.

No structural development shall be allowed within the designated Flood Plain of the Avon River as determined by the Department of Water.

Council shall set the minimum floor levels in the areas within the 100-year flood event limit in consultation with the Department of Water to take into account the likelihood of inundation, the streetscape, accessibility and other factors.

3.3.3 Siting

Another critical factor that influences character is building siting in relation to boundaries and front setbacks from the street. When new buildings are developed in an historic context, they should be sympathetic to the local streetscape and the predominant front and side setbacks of the streetscape should be maintained. The adjoining properties in a streetscape provide the best guide as to the correct approach for the siting of new buildings. Obviously, the siting, size and construction of front fences is also important and this subject is addressed later in the guidelines.

Importantly, buildings in Blandstown are set parallel to the street and are oriented to the street frontage. In other words, the principal elevation and entrance to a building faces the street. New buildings should be oriented in the same manner. Front setback patterns, where they exist, should be repeated, irrespective of the prevailing residential density code provisions. Usually houses on smaller lots in narrow streets have small front setbacks and houses on larger lots in wider streets have greater front setbacks.

Most of Blandstown historic development was completed before the motor vehicle came into common usage. Garages and carports in York could become a dominant and negative feature in the streetscape.

Additions to existing properties should also respect the pattern of siting and be located so as to avoid giving them undue prominence.

Consideration must be given to Federal and State objectives for energy efficiency in relation to siting.

For new residential development and additions, extensions or modifications to existing residential dwellings shall be located parallel to the street and shall observe any established front and side building setbacks of the neighbouring properties in the street.

Entries to a dwelling shall be at the front of the dwelling or be an obvious feature when viewed from the street. Entries which are central to a facade are encouraged. A blank wall facing the street is unacceptable.

All garages and carports shall be designed to have a minimal visual impact on the streetscape. Where side or rear access is available, vehicular access should be provided from these points and parking area, including garages and carports, located accordingly.

Garages and carports located in front of the building line of an existing dwelling will only be permitted if it cannot be located on any other part of the property. Garages and carports located in front of the building line must not obscure the front elevation of a building and their width shall not exceed 30% of the frontage of the property.

Car parking areas in new residential development should be incorporated into the design of a new house and should be setback from the primary street in line with or behind the building line of the proposed dwelling.

Note: The policy requirements relate to the location of parking area. Further requirements on the design and appearance of garages and carports are included in the Materials and Colours section.

3.4.4 Materials and Colours

Residential buildings in the heritage areas use a variety of materials, which relate to the historic phases of development of the town. These materials, textures, colours and decorative treatments are important elements of character and significance.

Residential development, including garages, carports and outbuildings, should use materials, textures and colours that are characteristic in the adjacent buildings and the local area generally.

While it is not necessary or desirable to copy the existing patterns in every detail, the use of similar materials and colours assists with developing harmony in the streetscape. Modern materials are not precluded, providing their proportions, textures, details and colours are sympathetic with the surrounding context and are not in sharp contrast. The quality of new materials should be equal with those of existing buildings.

When restoring or repairing important historic places, replacement materials should match like-with-like where possible. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. Rendering or painting existing brick in older buildings will cause the brickwork to deteriorate and is a poor maintenance strategy.

Although weatherboard buildings are comparatively rare in the heritage area, new timber framed buildings are permitted. When restoring timber framed houses, new materials should match the original. Timber framed extensions are also permitted for brick buildings.

Traditional colour schemes in the Heritage Areas feature several colours in combination. Rendered walls have been left unpainted or are natural tones of cream or stone. Window and door frames are a combination of dark and light colours, which generally contrast the base colour of material of the external walls.

The acceptable materials for new residential buildings, including outbuildings, garages and carports and additions, retaining walls, extensions or modifications to existing buildings are as follows:

(a) Walls

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated iron or mini orb profile walls in a galvanised, painted or Colourbond finish are appropriate for side and rear walls, outbuildings, carports and garages.
- Use of limestone materials in retaining walls will not be permitted unless it is consistent with existing development.

(b) Windows and doors

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Timber to match the existing materials being replaced or the period of development for residential places being restored.
- Small paned windows are encouraged in street elevations, if appropriate to the location of the development.

(c) Roofs

- Custom Orb profile sheeting. Preferred sheeting is galvanised, although Zinalume or Colourbond in an appropriate colour is acceptable.
- Galvanised sheeting is generally required for buildings listed in the State Register of Heritage Places.
- Clay tiles, if appropriate to the location.

(d) Gutters

- Half round galvanised gutters for places pre-1890.
- Ogee and colonial profile or quad for heritage places.
- Quad or half round for new places.

The colours to be used in all residential development will have regard to the following criteria:

- (a) The colours used in an existing building and in neighbouring properties in the streetscape;
- (b) Colours selected from heritage ranges will be acceptable. Guidance may be taken from the colour palette available for viewing at the Shire of York offices;
- (c) For new buildings, sympathetic modern colours may be acceptable;
- (d) Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate; and
- (e) The use of bright or garish colours in large areas visible from the street is not permitted.

The colours to be used in heritage places, including places on the State Register of Heritage Places and the Shire of York Heritage List, should be based on the original colours used in the building based on paint scraping where possible.

Garages and carports shall be designed to have a minimal impact on the streetscape and shall be constructed to consider the following:

- (a) The garage or carport should be built to reflect the style of the existing or proposed house, but not be so elaborately detailed as to detract from the house. The design should be sympathetic to the style of the house without copying the detailing used on the existing or proposed house;
- (b) Roof form, materials and pitch should be the same as the existing house. Walls and/or piers should match existing brickwork or render as closely as possible;
- (c) Timber posts used in a carport should respond to the style of the verandah posts on the house. Timber decoration may be used to relate the new structure to the existing or proposed house, but should not make the garage or carport more important than the house;
- (d) The materials and colours of garage doors should not detract from the heritage character of the Heritage Area; and
- (e) Where the side wall of a garage faces a street it shall be designed and treated in such a manner that it presents an articulated and detailed facade to the street. Eaves of a minimum 300mm shall be provided.

3.3.5 Detailing

Similar and common details in residential development also assist in creating character. There was a fairly common approach to detailing in various periods of development. There are similarities in the approach to chimneys, verandahs, doors and windows. Modern buildings are generally more simply designed than buildings in the historic context. This difference in approach to detailing in modern buildings can disrupt the harmony of a historic streetscape.

Using a sympathetic approach to the design and detailing of residential development can help create relationships between the new and old. Modern design features can reinterpret traditional details and contemporary detailing can provide visual interest that contributes to the character of the place.

Many residential buildings in the area have or have had front verandahs. Restoring a verandah to its original form can add significantly to the value of the building and enhance the streetscape. Verandah details, such as timber fretwork, iron lacework and turned posts, provide important elements of decoration on traditional buildings.

Other decorative elements include gables, lead lights and rendered corbelling on chimneys. Early York homes are characterised by tall brick chimneys with decorative corbelling (brick protrusions near the top of the chimney, commonly with decorative render).

The proportions and shapes of windows and doors give traditional Blandstown Heritage Area buildings a vertical emphasis. Their positions and relative size on a building façade are important components of the streetscape. The styles of windows and doors vary according to the date of construction however their position, proportions and shape remain relatively constant.

Decorative detailing should be used sparingly on new residential development and additions, extensions and modifications to existing buildings. New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate for the date of construction of the building.

New chimneys shall be tall, extending beyond the maximum height of the roof at any point.

The style of a replacement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary evidence regarding the original verandah, a simple replacement verandah without elaborate decoration shall be used. Reinstatement of missing decorative detailing on existing buildings is encouraged.

The original door or window openings on an existing building are to be maintained. Where a door or window needs replacing, it is preferable to use a copy of the original.

Windows and doors in new buildings should not be copies of traditional styles. Where windows are visible from the street, they shall be simple timber-framed or commercial quality, box, powder coated aluminium-framed windows giving the appearance of timber framing, with proportions reflecting traditional openings. Some details may be adapted to allow buildings to harmonise with the traditional streetscape, such as using a slight arch of vertical brickwork over the window.

3.3.6 Setting

The treatment of front setback area to primary and secondary streets has a significant impact on streetscape. Fences and gates in the Areas generally reflect the rural atmosphere of the town and few existing houses in the area have substantial front fences.

Traditional driveways and paths in the Blandstown Heritage Area were of local gravel or red clay. Front gardens are an important part streetscape and remnants of traditional gardens can be as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that, where possible, these be conserved and ideally, new gardens would be designed to integrate with them.

While the policy does not provide controls on the materials used in driveways and paths or the nature of residential gardens, some general guidelines are contained in Appendix E for interested persons.

Fences and gates associated with residential development shall be consistent with the following requirements:

- a) For existing houses or properties, fencing and gates shall match the period of development. Local stone, timber picket, picket and red brick or local stone pier, or timber post and rail with chain mesh may be appropriate. Hedges may be appropriate as an alternative to fencing.
- b) Fibre cement sheeting or steel, iron or colourbond sheeting as a fencing material shall be avoided on any street frontage in front of the building line;
- c) Fibre cement sheeting or steel, iron or colourbond sheeting may be used to fence back yards if its visual impact from the street will be limited;
- d) Limestone fencing is not permitted in heritage areas;
- e) Front fencing shall be open in style to allow views to and from the house;
- f) Solid fencing on front boundaries and on side boundaries in front of the building line shall not exceed a height of 1200mm;
- g) Any fencing on front and side boundaries in front of the building line over 750mm shall be truncated a minimum of 1.5m at the entries to driveways and the intersection of streets.

Suggested materials for driveways and paths in residential area are gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete.

4.0 COMMERCIAL DEVELOPMENT

4.1 EXTENT OF APPLICATION

These Policy Guidelines shall apply to all commercial development within the Central York and York Town Centre heritage area. Commercial development shall include new buildings and the extension, alteration, addition or modification of existing buildings. Where the commercial development includes a residential component, the Policy Guidelines contained in Section 3 shall also be considered.

4.2. OBJECTIVES

- (a) To facilitate commercial development that respects the existing character of an area.
- (b) To ensure that the primacy and heritage significance of Avon Terrace is maintained.
- (c) To protect and encourage the conservation of the important heritage places within the Central York and York Town Centre heritage area.
- (d) To ensure that all commercial development, including new development and the modification or extension of existing buildings, respects the scale, form, siting, appearance and general fabric of existing buildings and the streetscape in the Central York Heritage Area and York Town Centre Heritage Area.
- (e) To ensure that new development is of a high architectural quality that contributes to, and enhances, the area as a whole.

4.3 DEVELOPMENT GUIDELINES

The policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

4.3.1 Scale and Size

The scale of a building is its size in relation to an existing commercial building, neighbouring buildings or the surrounding landscape. The resulting development proposal should look as if it belongs to the area in terms of scale. Scale is one of the prime determinants of an area's character and if scale is not correctly determined, there is little prospect of correcting an out of scale development.

The street layout and subdivision pattern provide a strong influence in the scale of development because of the width of the street and the frontage of blocks to the road. New buildings should be appropriate to the immediate surroundings.

The scale of all commercial development must respect:

- (a) The scale of adjoining and nearby buildings in the street;
- (b) The surrounding landscape; and
- (c) The scale of the existing building, in the case of additions, extensions or modifications.

Commercial development is permitted up to two storeys in height, provided that the development is sympathetic and in scale with the adjoining buildings. New buildings that need to be larger than the buildings in their immediate surroundings can be reduced in scale through architectural design techniques, such as the breaking up of long walls into bays, the appropriate arrangement of openings, the fragmenting of roof forms and the setting back of upper levels.

The requirements for second storey additions to single storey heritage buildings are contained in following Section 4.3.2.

4.4.2 Form

The form of the building is its overall shape, volume and the general arrangement of its main parts. New commercial development and alterations to existing commercial development in the Central York and York Town Centre Heritage Areas shall be sympathetic to the predominant form of the neighbouring buildings and/or the existing building, where traditional main street building forms have been followed.

Where a building form is highly repetitive, such as in Avon Terrace, significant departures in form will appear at variance to the streetscape. The main design elements of new buildings in the street façade (i.e. proportions, number of openings, ratio of window to wall areas, etc.) will also affect how a new building relates to its neighbours and how an addition relates to an existing building.

General Guidelines

All commercial development shall respect and maintain the traditional pattern and appearance of the commercial buildings in the Central York and York Town Centre Heritage Area and shall achieve the following criteria:

- a) Commercial buildings shall consist of horizontal strips of development broken into a vertical rhythm by the component shops or tenancies and the windows to individual shop fronts or tenancies;
- b) Large, single use buildings must maintain the appearance of articulated, individual frontages to the street through the use of architectural design features;
- c) Monolithic buildings with blank street frontages, large scale panel systems and sheet metal cladding are not acceptable;
- d) Corner sites provide an opportunity for landmark buildings and two storey development on street corners is appropriate; and
- e) New commercial developments should be simply treated, well proportioned and detailed, though should not endeavour to copy history types in general.

Verandahs and Awnings

New commercial development shall have a verandah or awning over the public footpath of sufficient dimensions so as to provide effective weather protection for pedestrians. The awning should be located at first floor height, and not at any level above. The awning should be simple in design and should line through with any existing awnings on adjacent development. Awnings should preferably extend for the full width of the building to allow continuous weather protection of the footpath below. Awnings supported by verandah posts are acceptable.

The requirement for an awning over the public footpath may be waived in locations where there is no continuous current or proposed streetscape.

For existing buildings, the reinstatement of verandahs with verandah posts located on the public footpath will normally be permitted, provided it can be demonstrated that such a verandah would be consistent with the original form and design of the building and its heritage integrity. Verandahs should only be reinstated where there is good evidence of their original existence, and must take into account modern standards for public safety.

- Restoration or reinstatement of traditional verandahs or awnings should be based on archival evidence;

- Buildings constructed without an awning or verandah should not have a traditional awning or verandah constructed;
- A simple contemporary awning or canopy may be permitted on any building, provided it does not detract from the significance of the place. In particular, it should not introduce undue separation of the ground floor from the upper levels.

Compatibility of Building Forms

The design of all commercial development shall consider the horizontal alignments of principal levels for over-pavement awnings, canopies, parapet tops, window heads and sills, wherever practicable, with the adjoining development in a streetscape.

All commercial development shall respond to and reinforce the existing characteristics of rooflines in the Central York and York Town Centre Heritage Areas, as follows:

- (a) Plate and wall heights, roof form, ridge lines, roof slopes and parapet lines shall be consistent with the neighbouring buildings in the streetscape;
- (b) Roof slopes shall achieve a minimum pitch of 25 degrees; and
- (c) All verandahs shall have a minimum pitch of 10 degrees; and
- (d) Commercial buildings may have an articulated front parapet wall as an acceptable alternative to the pitched roof.

Parapets

The decorative details of many original parapets are an important part of the building's original design style and add to the distinctive character of the area. The alignment of parapets is an important component defining the skyline of the heritage area when viewed from the street.

- Parapets shall be retained in the adaptation of an existing building and should remain the main element defining the roof line when viewed from the street;
- A parapet to the primary street façade of a new building should be of comparable height to adjacent buildings; and
- New parapets may be simple or complex in their design and articulation but should be designed in a manner that takes account of the form of parapets on adjacent buildings.

Upper Floor Additions to Heritage Buildings

A second floor may be added to an existing one storey heritage building. The overall height, however, must still be restricted to two storeys.

The additional floor shall be set back a minimum distance of 3m from the façade(s) of the heritage building and no external elements or attachments such as air conditioning plant may be placed forward of this building line.

The additional floor or new roof will be visible from Avon Terrace and other view points, so careful consideration of their appearance from all aspects is required.

- The design of a new upper floor to an existing heritage building, including its roof form, should not detract from its heritage significance;
- The form, articulation and detail of the addition should be considered carefully, and it should not detract from, or dominate, the style of the existing building;
- Simple "clean" lines, contemporary forms and proportions that derive from the original building are appropriate.

Shopfronts and Windows

New shop fronts should be encouraged to take the form of dado below glazing, with a central or side recessed entry. The entry may be set in a truncated recess.

Windows onto the street should not be tinted or treated with reflective film. Views into and out of commercial buildings are to be maximised to create visual interest and to provide for greater security through casual surveillance. A minimum of 80% of all window space of a building facing a public street shall be kept transparent, and not rendered opaque by advertising signage.

4.3.3 Siting

A critical factor that influences the character of an area is the siting of buildings relative to boundaries, particularly setbacks from the primary street. New buildings in a historic context must be sympathetic to the local streetscape and reinforce the existing front and side setbacks to maintain the established patterns of development. The adjoining properties in a streetscape usually provide the best guide as to the correct approach for the setback of buildings. Commercial development in the Central York and York Town Centre Heritage Areas, and in most traditional urban main street centres, has been built up to the street edge. This provides an appropriate urban “feel” and maximises opportunities for businesses to interact with passing pedestrians. Commercial development which is set back from the street edge with car parking area in front of buildings are principally car-orientated, are not pedestrian-friendly and are inappropriate to the Central York and York Town Centre Heritage Areas.

Older buildings constructed on lots which are not parallel to the Avon Terrace road reserve have generally been located on the front boundary edge, even though this has resulted in the front walls being set at an angle to the side walls. This siting characteristic has helped maintain a continuous built edge to the footpath and is a feature of the area which should be retained.

Front Setbacks

All new commercial development, and the extension, addition, alteration or modification of existing commercial buildings, shall maintain a zero setback to the street. Commercial development shall be located parallel to the street and must be built up to the public footpath edge. This shall occur even if the lot is set at an acute angle to the road reserve.

Awnings or verandahs on building facades built up to the public footpath edge are permitted to be built over the public footpath.

Car Parking Location

In general terms, no car parking bays and car parking areas shall be provided in front of any building between the building and a public footpath.

Car parking areas associated with all commercial development shall comply with provisions of the Town Planning Scheme.

4.3.4 Materials and Colours

The Central York and York Town Centre Heritage Area has a variety of materials and colours that relate to the main historic phases of development of York. These materials, textures, colours and decorative treatments are important elements of character and heritage significance.

The main materials that contribute to the streetscape value of the Central York and York Town Centre Heritage Areas are those used in the walls of buildings and their window treatments. Roofs tend to play a less significant role as they are often concealed, or partially concealed, by parapets.

Commercial development should use characteristic materials, textures and colours that are in use locally and in many of the heritage buildings. Materials and colours of the surrounding buildings may

be used as a point of reference for new development. It is not necessary or desirable to copy the existing patterns of development in every detail; however, the use of similar materials and colours assists with developing harmony in a streetscape. Modern materials are not precluded, providing their proportions, textures and details are sympathetic with the surrounding context and are not in sharp contrast. The quality of new materials should be equal with those of existing buildings.

When restoring or repairing important historic places, replacement materials should match like-with-like where possible. In conservation projects, doors and windows should replicate the type used when the building was originally constructed. Materials that were not intended to be painted, such as brick, should not be painted. Rendering or painting existing brick in older buildings will cause the brickwork to deteriorate and is a poor maintenance strategy.

The acceptable materials for new commercial buildings and additions, retaining walls, extensions or modifications to existing commercial buildings are as follows:

Walls

- Red through to orange brick with cream joints. Darker brick accents are acceptable.
- Local stone.
- Smooth render.
- Timber weatherboards, corrugated iron or mini orb profile walls in a galvanised, painted or Colorbond finish are appropriate for side and rear walls and outbuildings.
- Use of limestone materials will generally not be permitted.

Windows and Doors

- Timber framed, especially when visible from the street.
- Commercial quality, box powder-coated aluminium framed, especially when visible from the street.
- Steel framed.
- Timber to match the existing materials being replaced or the period of development for commercial places being restored.

Roofs

Roofing materials are mostly concealed behind parapets, but there are instances of clay tiles and custom orb profile steel sheeting being exposed to view, particularly on corner sites. Preferred roofing materials include:

- Custom orb profile sheeting. Preferred sheeting is galvanised, although zincalume or Colorbond in an appropriate colour are acceptable.
- Galvanised sheeting is generally required for buildings listed in the State Register of Heritage Places.
- Clay tiles, if appropriate to the location.

Where roofing can be viewed from the street and surrounding area, large scale and large profile roofing is not acceptable. Roofing materials must not be used in large quantities as façade treatments.

Gutters

- Half round galvanised gutters for places pre-1890.
- Ogee and colonial profile or quad for heritage places.
- Quad or half round for new places.

Colours

The colours to be used in all commercial development will have regard to the following criteria:

- (a) The colours used in an existing building and in neighbouring properties in the streetscape. Colours should respond to the original colours used or a contemporary interpretation of those colours;
- (b) Colours selected from heritage ranges will be acceptable. Guidance may be taken from the colour palette available for viewing at the Shire of York offices;
- (c) For new buildings, sympathetic modern colours may be acceptable;
- (d) Colours which take their inspiration from local, natural elements such as tree leaves, bark and soils may also be appropriate;
- (e) The use of bright or garish colours in large areas visible from the street is not permitted.
- (f) Feature brickwork should not be painted.
- (g) Colour schemes should include a range of tones of varying intensity to complement and enhance the complexity of architectural detail and decoration of the existing buildings.
- (h) Monochromatic schemes are not appropriate on heritage buildings in the Central York and York Town Centre Heritage Areas and should be avoided.
- (i) The application to new and existing buildings of “Corporate Standard” colour schemes or materials that are not sympathetic to the character of the Central York and York Town Centre Heritage Area will not be supported.

The colours to be used in heritage places, including places on the State Register of Heritage Places and the Shire of York Heritage List, should be based on the original colours used in the building based on paint scraping where possible.

4.3.5 Detailing

Similar and common details used in commercial development can also assist in creating character. There was a fairly common approach to detailing in various periods of development. Modern buildings are generally more simply designed than buildings in the historic context. This difference in approach to detailing in modern buildings can disrupt the harmony of an historic streetscape.

The civic and commercial buildings in the Central York and York Town Centre are characterised by well detailed facades generally set on the front boundary with classically derived frontages above verandahs and awnings. Building fronts are predominantly glazed below the verandah or canopy level with doors located either centrally or to one side. Older shops have tall boards, in-goes and high ceilings. Verandahs are either bull-nosed or skillion with fascia for signage.

New development should respond to its context in terms of detailing but may employ contemporary forms of expression. The detailing may draw on the examples of historic buildings in the Central York and York Town Centre Heritage Areas but should not attempt to copy or reproduce them.

Verandahs

The style of a replacement verandah roof, posts and decoration should be appropriate to the style of an existing building. In the absence of any documentary evidence regarding the original verandah, a simple replacement verandah without elaborate decoration should be used. Reinstatement of missing decorative detailing on existing buildings is encouraged.

Street Facades

Alterations to the main street façade of heritage dwellings should be minimised.

The original pattern of the façade, the relationship of windows and walls and any architectural design or patterns, shall be retained.

Facades of new buildings, even though they may be of contemporary design and materials, should reflect, or be derived from, the articulation of the facades of the existing significant buildings. There shall be a visual harmony between the new façade and the existing street elevation.

New buildings should never copy traditional decorative elements. If decoration is required, it should be appropriate for the date of construction of the building.

Windows and Doors

Windows should follow similar patterns to those used in existing buildings and the streetscape. Front entries should be central to the façade or offset to one side, facing directly onto the street.

Windows and doors in new buildings should not be copies of traditional styles. Where windows are visible from the street, they should be simple timber framed, or commercial quality, box aluminium framed windows with proportions reflecting traditional openings. Steel windows may also be acceptable.

The original door or window openings on an existing building are to be maintained. Where a door or window needs replacing, it is preferable to use a copy of the original.

Security to a premises should be provided in a way that is sympathetic to the fabric and character of a building and is not unduly intrusive. Roller doors will not be permitted.

Lighting

External lighting of a commercial building must be designed to be in keeping with the character of the street, to light the building effectively without drawing undue attention to it, and to provide an effective level of public amenity along the footpath. Lighting from the underside of awnings and verandahs is acceptable. Low key lighting to facades from verandahs and canopies is also acceptable.

External Fixtures

Elements fixed to the façade of a heritage building that are not part of the fabric of the building, such as air-conditioners, coolers, satellite dishes, antennas, etc., are inconsistent with the existing streetscape of Avon Terrace, and will not generally be permitted.

Council shall require a Development Application for proposed satellite dishes, antennas and the like under the following circumstances:

- On any property located on the Heritage List, or identified as a place contributing to the level of significance of the Heritage Area;
- When, in the opinion of the Council, the size, position, or visual impact of the satellite dish, antenna or air conditioning unit will have a significant impact on adjoining sites or the general locality; and
- Where a proposed antenna will be visible from the street, or the proposed antenna is larger than that required for television reception.

Chimneys

New chimneys shall be tall in height, extending beyond the maximum ridge height of the roof at any point.

4.4.6 Setting

Fences and gates in the Central York and York Town Centre Heritage Areas generally reflect the rural atmosphere of the town. It is important to ensure that fences fronting a street respond to the streetscape and the historical significance of the place to which it is relevant.

New development must allow for direct and level access from public footpaths. In addition, high building pads should not be created as part of any new development.

This Policy aims to ensure that the palette of paving materials used in the commercial area is confined to a narrow range, to maintain a high degree of visual harmony both within the streetscape and in the area immediately adjacent to it.

Paved Areas & Levels

Footpaths and paved areas in commercial projects, other than rear car parks, are to be brick paved, paved in red asphalt with a laterite aggregate or imprinted concrete in appropriate colours & designs. Tessellated tiles may be appropriate for commercial building in-goes (recessed door entries). Rear car parks not visible from Avon Terrace may be laid in normal hot mix with a grey finish.

Every effort should be made in commercial developments to provide a flat (universal) access for pedestrians to and through the front door from the public footpath. Any changes in level should take place inside the building.

All development must be sympathetic to the existing land contours and natural features. No more than 500mm of cut or fill may be permitted as part of any commercial development, unless such cut or fill is to match the height and scale of an existing building. Retaining walls shall not exceed a height of 500mm, unless the natural contours of the land prior to development occurring warrant higher retaining walls.

Fences & Gates

Fences and gates associated with commercial development shall be consistent with the following requirements; where there is conflict with the Shire of York Local Law on Fences, this Policy shall prevail:

- (a) For existing buildings, fencing and gates shall match the period of development. Local stone, timber picket, picket and red brick or stone pier, or timber post and rail with chain mesh may be appropriate;
- (b) For new development, fibre cement sheeting or steel fencing, iron or Colorbond sheeting as a fencing material shall be avoided on any street frontage in front of the building line;
- (c) Fibre cement sheeting or steel fencing, iron or Colorbond sheeting may be used to fence back yards if its visual impact from the street can be limited.
- (d) Limestone fencing is usually inappropriate, but may be permitted where it is proposed to be used to augment existing heritage walls;
- (e) It is preferred that front fencing shall be open in style to allow views to and from the building, however if solid fencing on front and side boundaries in front of the building line is required, it shall not exceed 1200mm in height; and
- (f) Any fencing on front and side boundaries in front of the building line over 750mm shall be truncated a minimum of 1.5 at the entries to driveways and the intersection of streets.

5.0 SIGNAGE

5.1 EXTENT OF APPLICATION

These Policy Guidelines shall apply to all applications for signage within the Central York, York Town Centre and Blandstown Heritage Areas.

These Policy Guidelines aim to provide a basis for signage in the Heritage Areas.

All new signage must be approved (by way of development application) by the Shire of York, except for the following:

- a) Replacement of an existing lawful sign, provided that the sign:
 - (i) is not greater in size than the sign that is being replaced; and does not involve any alteration to the structure or vessel on which the sign is displayed;
 - (ii) complies with the 'permitted signage content' provisions outlined in this policy;

- (iii) relates directly to the business operating from the property;
 - (iv) is less than 3m² in area and the use of corporate colours does not exceed 40% of the surface area of the sign. The remaining colours of the sign shall be white or cream, or colours from the Shire of York colour palette, provided consent to use of a colour other than white or cream is given in writing by the Shire of York.
- b) Window/glazing signs, which do not exceed 25% of the total glazed surface of each level of the building along each elevation of the building.
 - c) One advertising sign per shop front, within the lot boundaries of the property, which does not exceed 0.2m² in area, containing the name, number and address of the building, the purpose for which the building is used or the name and address of the managing agent thereof.
 - d) The erection of Heritage Plaques issued by the State Heritage Office;
 - e) One open/closed sign within the lot boundaries of a property which does not exceed 0.2m² in area per business.
 - f) Temporary Signage, when identified within an event approval issued by the Shire, which may be erected up to 2 weeks prior to the event and removed within 2 days of the completion of the event.
 - g) The following 'Real Estate Signs';
 - (i) Signs advertising a property for sale within the lot boundaries of a property, not affixed to a building and relating to the property offered for sale provided that they do not exceed 3m² or impede sightlines of oncoming traffic when located on corner lots; or
 - (ii) are window signs.
 - h) One Building Construction Site advertising sign not affixed to a building per street frontage, displayed only for the duration of construction, which does not exceed an area of 3m²;
 - i) Signs located on a thoroughfare where a permit has been issued in accordance with a local law.

The exemptions do not apply to:

- (i) rotating, flashing or illuminated signage;
- (ii) Signage containing language or images which could be considered offensive, obscene, or culturally insensitive.

5.2 POLICY OBJECTIVES

- To permit adequate identification and business advertising.
- To recognise that advertising signs can help to express the character of the Heritage Areas, creating an attractive daytime and evening atmosphere.
- To limit the number, scale and positioning of advertising signs.

To ensure that advertising signs are in keeping with the scale and character of the building upon which they will be attached and do not detract from the architecture of the building. To ensure that signage is designed and located in a manner which enhances and conserves the heritage place with which it is associated.

5.4 Policy Guidelines

This policy includes commentary notes in shaded text boxes. These notes are not part of the policy requirements, though they provide explanation and a context for the policy provisions and should be read in conjunction with the policy.

In heritage areas such as Central York, York Town Centre and Blandstown, architectural and overall setting characteristics must be the dominant elements, and signage must play a minor role. The design and placement of signs on or near heritage buildings and places requires careful consideration to be compatible with, and not detract from, the heritage significance of the building or place.

Traditionally, signs were rarely placed on pilasters, architectural mouldings or across incised decorative patterns. They were placed so as to allow the architectural details of buildings to remain prominent.

Signs must also be visually subservient to the building to which they are attached. Given that motor traffic moves at relatively low speeds through the town, it is not considered that signs need to be large.

While advertising signage will mostly appear in the commercial area, some residents who operate legally established home businesses may also wish to advertise.

Applicants are encouraged to commission a reputable graphic designer for the design of their signage, to ensure that signs are designed to a high standard, and respect the unique setting of the Central York, York Town Centre & Blandstown Heritage Areas.

Complying Principles

All signs within the Central York, York Town Centre and Blandstown Heritage Areas shall comply with the following principles:

- (a) Signs shall be discreet and shall complement the building and streetscape in which it is located;
- (b) Signs shall be of a size, nature, colour and position so that the architectural characteristics of a building remain the dominant element of the building;
- (c) Signage must respect and not cover important architectural detail on historic buildings;
- (d) Signage should respect the heritage values of the building and streetscape on which it is located, however should not attempt to recreate a historic character through the use of "olde" lettering or other imitation styles;
- (e) Signs shall be attached to a building in a manner which does not damage or compromise the structural integrity or heritage values of the building;
- (f) Views into and out of shop windows should not be significantly obscured by signage;
- (g) All signs should be of a high standard in terms of materials, construction and graphics. All signs shall be designed, constructed, finished, installed and maintained to a standard compatible with its surroundings, including buildings, landscaping and other signs; and
- (h) Background colours used in signs shall generally be white or cream or colours from the colour palette available for viewing at the Shire of York offices.

Prohibited Signs

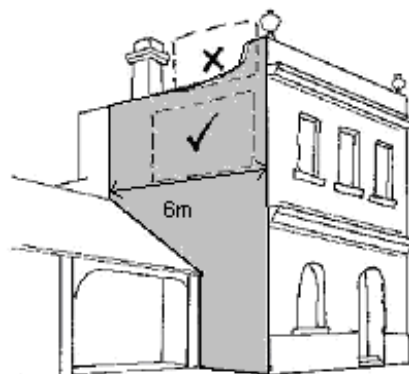
The following signs **are not permitted** within the Central York, York Town Centre and Blandstown Heritage Areas:

- (a) Signs which consist of modern standardised corporate advertising, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is generally white or cream or colours from the colour palette available for viewing at the Shire of York offices, or appropriate to the period and the building to which it is affixed;

- (b) Signs that obstruct the views to and/or from a street or public place and that have the potential to impede safe traffic movement;
- (c) Signs that are likely to be confused with or mistaken for an official traffic light or sign, so as to contravene the *Traffic Act 1919* or the Traffic Regulations;
- (d) Signs which are affixed to a building in a manner that will damage the building, will negatively impact on the heritage values of the building, or which will affect the stability of the building;
- (e) Free-standing or portable signs, including A-frame signs, in a street or a public place, unless they are placed in a location(s) so that they do not impede pedestrian access or cause any form of hazard.
- (f) Pylon, tower or monolith signs;
- (g) Rotating, flashing and internally lit signs. Small neon signs hanging inside the windows of shops may be appropriate, provided they are of a size and dimension to not become a dominant townscape element;
- (h) Roof signs or signs which break a parapet or roof line;
- (i) Signs which involve the construction of walls or parapets that would not have been part of the traditional streetscape;
- (j) The painting of whole building facades or parapets in bright or corporate colours;
- (k) The painting of signage on historic buildings on unpainted brickwork or stonework;
- (l) Fluorescent and iridescent paint colours;
- (m) A sign located in any position where it would unreasonably obstruct or obscure the existing views from a dwelling or building of a significant feature such as the river or a public park; and
- (n) Flags and bunting.

Signs on Side Walls

Signage on the side walls of buildings may be permitted, provided that the signs do not protrude above the parapet breaking the silhouette of the building, and do not have an area greater than 10m² or exceed 10% of wall area, whichever is the lesser. In situations where the side of the building does not front a street, the visible area of the wall up to a maximum depth of 6m, shall be used to calculate the surface area of the wall to determine the size of the sign.



Example of appropriate and prohibited signage on the side wall of a building.

Signs shall not extend above the parapet and break the silhouette of the building.

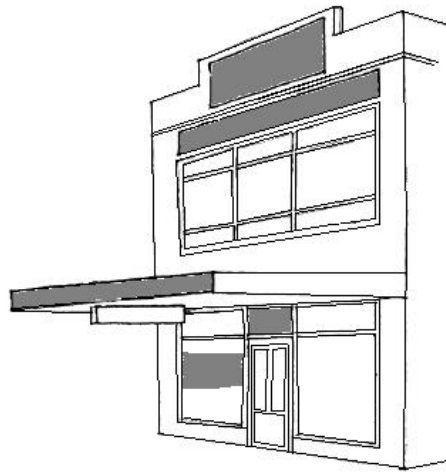
Figure shows how to calculate the surface area of the wall to determine size of the sign. The sign shall not exceed 10% or 10 sq.m of the area hatched in grey, whichever is the lesser amount.

Appropriate Locations for Signs

Generally the following areas on a heritage building are suitable for locating signage, although it is not suggested that all these opportunities should be exploited at the same time:

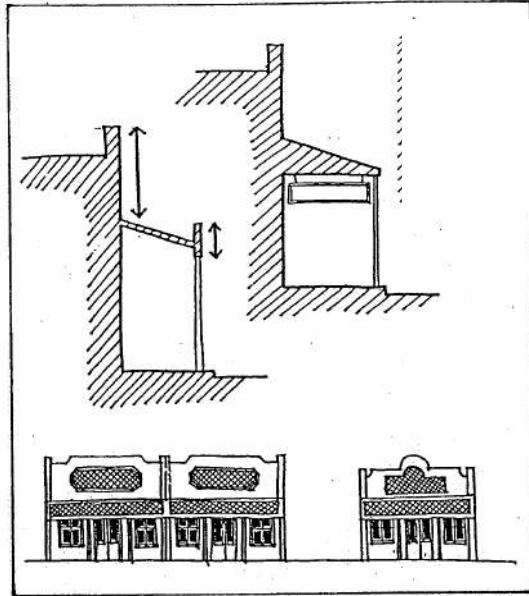
- the solid parapet above the cornice (horizontal sign);
- the horizontal panel below the cornice (horizontal sign);
- on upper storey side walls;
- small signs on ground or first floor windows; and
- attached to verandahs (verandah fascia and under-awning signs).

The aggregate number of signs on a building, including the painting of the building and freestanding signs, shall be minimised. The total aggregate of all signs on the frontage of the building to the street shall not exceed 10% of the total (silhouette) area of a building's principal frontage.



The total area of the shaded portions shall not exceed 10% of the total area of the face of the building to the street.

Signage shall be placed in locations on a building which would traditionally have been used as advertising area. If the building has no such locations, the signage may be deemed inappropriate. Preferred locations for signage shall include: awnings, fascias, doors, walls and hanging under verandahs, either facing the street or at right angles to the street above the footpath.



Example of areas of traditional locations of signage.

Required Overhead Clearance

All signage situated over the footpath or other pedestrian thoroughfare shall maintain a minimum clearway of 2.75m from the natural ground level. Signs situated under the verandah of a building shall not project beyond the outer edge of the verandah.

Permitted Signage Content

The information to be included on a sign shall be limited to:

- (a) The name, address, telephone number, email address or website associated with the premises;
- (b) The name of the business(es) contained within the premises;
- (c) The type of services, activities or products available within the premises.

Lettering on signs is restricted to 300mm high, except on larger two storey buildings, where the lettering on the principal sign may be 380mm high.

Unrelated or third-party advertising is not permitted. Signage containing language or images which could be considered offensive, obscene, or culturally insensitive is not permitted.

Corporate Colours & "Branding"

Signs which consist of modern standardised corporate colours and advertising are not generally permitted, unless such signage is modified by placing the modern sign in a panel with a perimeter margin and the background colour of the sign is generally white or cream or colours from the colour palette available for viewing at the Shire of York offices, or appropriate to the period and the building to which it is affixed;

The use of corporate colours and business logos shall not exceed 40% of the total surface area of the sign. The remaining background colours of the signs shall generally be white or cream or colours from the colour palette available for viewing at the Shire of York offices.

Illumination of Signs

The illumination of signs may be appropriate in some circumstances. The illumination of signs may only occur from external lighting sources or spot lighting of architectural elements or the sign itself. All lighting shall be discreet and all transformers and cabling shall be concealed.

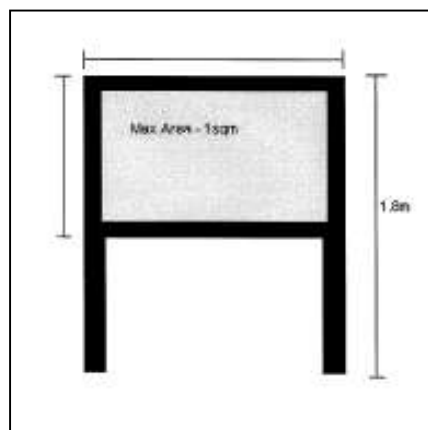
Home Occupation & Business Signs

Signage relating to home occupation or home business within a residential dwelling shall be restricted to one advertising sign placed on a wall of the residence or the front fence of the property. The sign shall have a maximum area of 0.2 sq.m and shall display the name of the business and street address only. Where these standards are achieved, no application for planning approval is necessary.

Freestanding Signs

Freestanding signs are only permitted on lots where the building is set back from the street, and must comply with the following;

- (a) The information included on the sign shall be limited to the name, address, telephone number, email address or website, and hours of operation of the business carried out on the premises;
- (b) A maximum of one (1) free standing sign is permitted per property;
- (c) The area of the sign (excluding supports) must not exceed 1 sq.m and a maximum length of 2m;
- (d) The sign shall have a maximum height of 1.8m above natural ground level;
- (e) The sign shall be permanently fixed to the ground; and
- (f) Sign must be positioned in a suitable location so that pedestrian movement and views into and out of the premises is not obstructed.



An example of how to calculate the areas/requirements for a freestanding sign.

SHIRE OF YORK HERITAGE LIST

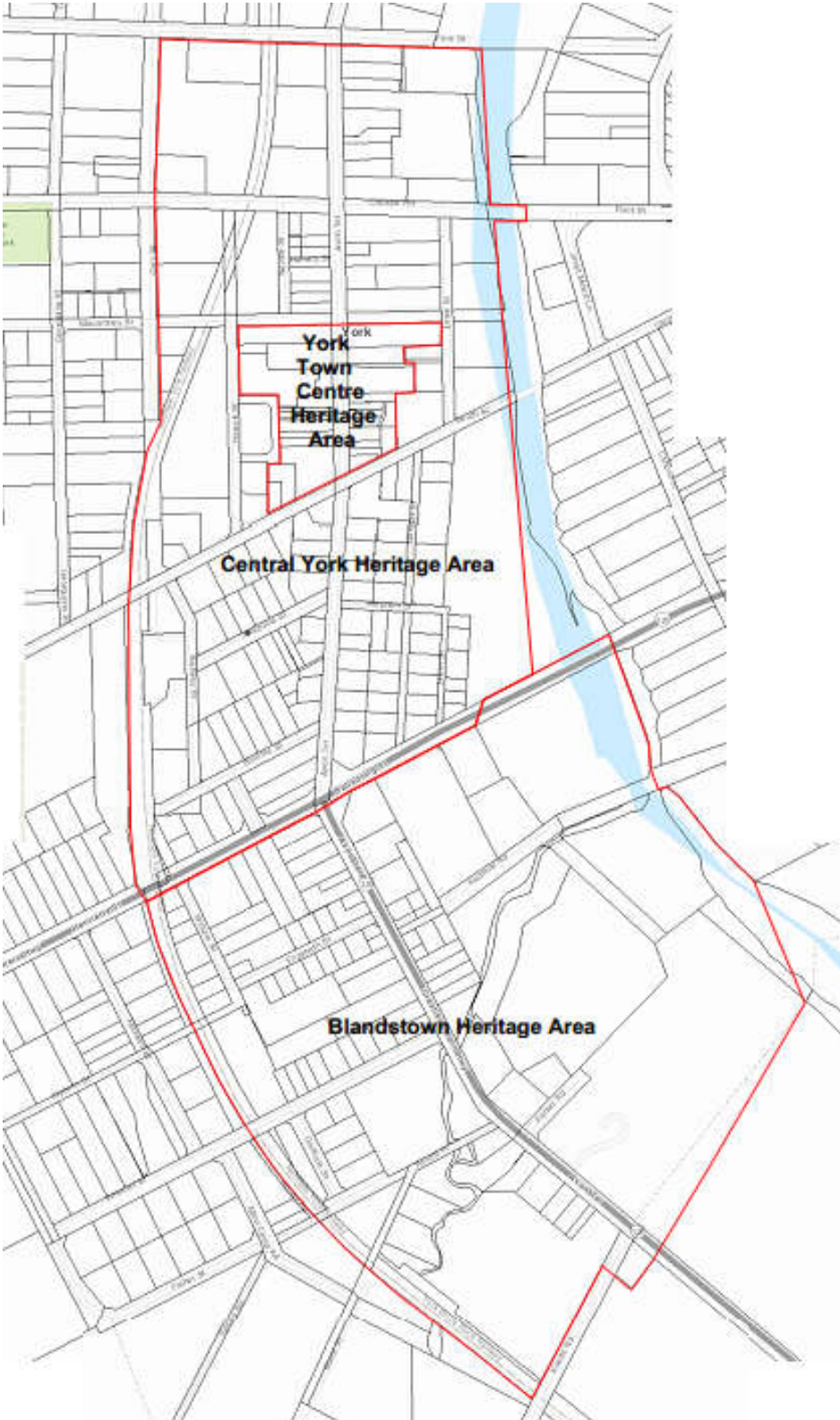
Place Name and Number		Address	Level of Significance
1	Residence	1 Alfred Street, York	B
3	Residence	6 Alfred Street, York	B
4	Residence	9 Alfred Street, York	B
5	Balladong Farm	2 Avon Terrace, York	A
12	Wansborough House	22 Avon Terrace, York	A
23	York Town Hall	79-81 Avon Terrace, York	A
25	Imperial Hotel	83 Avon Terrace, York	A
39	York Courthouse, Police Station & Gaol (fmr)	124 – 130 Avon Terrace, York	A
42	York Post Office	134 Avon Terrace, York	A
43	Edwards Store (fmr) York Co-op	136-140 Avon Terrace, York	A
49	Council Chambers	151 Avon Terrace, York	A
57	Mongers Trading Post (fmr) Mongers Store	165 Avon Terrace, York	A
60	Mongers Trading Post (fmr) Monger's Yard SITE	173 Avon Terrace, York	A
61	Mongers Trading Post (fmr) Sandalwood Yards	179 Avon Terrace, York	A
62	Gallops Residence & Shop (fmr)	208 Avon Terrace, York	B
64	Residence	5 Bird Street, York	B
65	Residence (Turvey House)	25 Bird Street, York	B
66	Residence	26 Bird Street, York	B
67	Residence	112 Bland Road, York	B
68	Residence	150 Bland Road, York	B
69	York Hospital (fmr)	3 Brook Street, York	A
70	Convict Depot	5 Brook Street, York	A
71	York Residency Museum	5 Brook Street, York	A
73	York Flour Mill	11 Broome Street, York	A
74	Residence	59 Brunswick Road, York	B
75	Hope Farm	15 Carter Road, York	B
76	Residence (Black Lillies)	87 Centennial Drive, York	B
81	Residence (Cotmore)	9 Clifford Street, York	B
82	Residence (Glenwood)	33 Clifford Street, York	B
83	Residence	3 Dinsdale Street, York	B
84	Residence (Sunny Hill)	16 Dinsdale Street, York	B
86	Residence	38 Eleventh Road, York	B
87	Residence	2 Ford Street, York	B
89	Residence	22 Ford Street, York	B
90	Residence	26 Ford Street, York	B
91	Residence	28 Ford Street, York	B
92	Residence	32 Ford Street, York	B
93	Residence	44 Ford Street, York	B
94	Hillside	15 Forrest Street,	B
95	The Mount	29 Fraser Street, York	B
96	Residence (Avonlea)	13 George Street, York	B
97	Residence	4 Georgiana Street, York	B
98	Residence (Lavender Cottage)	6 Georgiana Street, York	B
99	Residence	10 Georgiana Street, York	B
100	Residence	12 Georgiana Street, York	B

101	Residence	1 Glebe Street, York	B
103	York Croquet Club	8 Glebe Street, York	B
104	Hartleap	4472 Great Southern Highway, Balladong	B
105	Residence	9 Grey Street, York	B
106	Residence	17 Grey Street, York	B
107	Residence	21 Grey Street, York	B
108	Residence	23 Grey Street, York	B
109	Faversham House	24 Grey Street, York	A
110	Residence	25 Grey Street, York	B
112	Residence (Stanmere)	55 Grey Street, York	B
113	Residence (Burton)	67 Grey Street, York	B
114	Residence	68 Grey Street, York	B
115	Residence	71 Grey Street, York	B
118	Residence	13 Harriott Street, York	B
119	Residence	14 Harriott Street, York	B
121	Residence	14 Henry Road, York	B
122	Residence	45 Henry Road, York	B
123	Peppercorn Cottage	68 Henry Road, York	B
124	York Cemetery	83 Herbert Road, York	B
125	York Primary School (fmr)	6 Howick Street, York	A
134	Residence	11 Lincoln Street, York	B
135	Police Quarters (fmr)	5 & 7 Lowe Street, York	A
137	Residence	26 Macartney Street, York	B
138	Residence	28 Macartney Street, York	B
139	Residence	30 Macartney Street, York	B
140	Residence	35 Macartney Street, York	B
143	Residence	54 Macartney Street, York	B
144	Residence	58 Macartney Street, York	B
145	Residence	66 Macartney Street, York	B
146	Residence	68 Macartney Street, York	B
147	Residence	74 Macartney Street, York	B
149	Residence	3 Meares Street, York	B
151	Residence	19 Meares Street, York	B
153	Farmhouse	177 Morris Edwards Drive, Daliak	B
154	Farmhouse	200 Morris Edwards Drive, Daliak	B
156	Residence	268 Morris Edwards Drive, Daliak	B
157	Residence	1 Newcastle Street, York	B
158	Residence	15 Newcastle Street, York	B
159	Kairey Cottage	16 Newcastle Street, York	B
160	Residence (River View Cottage)	18 Newcastle Street, York	B
161	Marwick's Shed	19 Newcastle Street, York	A
162	Residence (Marwick's Cottage)	22 Newcastle Street, York	B
163	Residence (Elm House) & Cottage	24 Newcastle Street, York	B
164	Residence	25 Newcastle Street, York	B
165	Residence	28 Newcastle Street, York	B
166	Residence (Stone Grange)	29 Newcastle Street, York	B
167	Residence	37 Newcastle Street, York	B
168	Residence	42 Newcastle Street, York	B
170	Residence (Whitely Cottage)	60 Newcastle Street, York	B
171	Residence (Craig's Cottage)	71 Newcastle Street, York	B
172	Mile Homestead Ruin Site	113 Newcastle Street, York	B
174	Mt Bakewell Homestead	396 North Road, York	B
175	Residence (Prunsters Cottage)	2974 Northam-York Road, York	B
176	Northam Road Well	Northam-York Road, Craig Street Intersection	B
177	Residence	2995 Northam-York Road, York	B
178	Lott's Cottage	3029 Northam-York Road, York	B

179	Residence	2 Osnaburg Road, York	B
180	Residence	12 Panmure Road, York	B
181	Laurelville	18 Panmure Road, York	B
182	Residence	24 Panmure Road, York	B
183	Residence (Four Winds)	38 Panmure Road, York	B
184	Residence	67 Panmure Road, York	B
189	Residence	29 Pelham Street, York	B
190	Job Bailey's Cottage (fmr)	2 Pool Street, York	B
191	Residence	4 Pool Street, York	B
192	Residence	7 Pool Street, York	B
193	Residence	15 Pool Street, York	B
194	Residence (Butterfly Cottage)	17 Pool Street, York	B
195	Residence	19 Pool Street, York	B
196	Residence	21 Pool Street, York	B
197	Residence (Layla's Cottage)	23 Pool Street, York	B
198	Holy Trinity Anglican Church, Hall & Rectory	30 Pool Street, York	A
199	York Railway Station (fmr)	13 Railway Street, York	A
200	Monument and Park	15 Railway Street, York	A
202	Bridge House & Grounds	1 Redmile Road, York	A
209	Burtens Cottage (aka Elizas Cottage)	9 Revett Place, York	A
210	Residence	6 River Street, York	B
211	York Grammar School (fmr)	11 Seabrook Street, York	B
215	St Patricks Catholic Church, Presbytery and Hall (original church)	22 South Street, York	A
216	Convent of Mercy School (fmr)	27 South Street, York	A
217	Convent of Mercy (fmr)	29 South Street, York	A
218	Residence (Four Julias)	30 South Street, York	B
221	York – Beverley Racecourse	Spencers Brook Road, York	A
222	Spice's Farm	49 Spices Road, Balladong	B
223	Residence	27 Suburban Road, York	B
224	Residence	36 Suburban Road, York	B
225	Residence	40 Suburban Road, York	B
226	Residence	41 Suburban Road, York	B
227	Residence (Collins Stores)	42 Suburban Road, York	B
228	Residence	50 Suburban Road, York	B
229	Residence	56 Suburban Road, York	B
230	Residence	58 Suburban Road, York	B
232	Holy Trinity Rectory	75 Suburban Road, York	A
234	Residence	11 Tenth Road, York	B
235	Residence	13 Tenth Road, York	B
236	Residence	17 Tenth Road, York	B
242	Residence	7 View Street, York	B
243	William James Cottage	13 View Street, York	B
257	Greenhills Bakery	2 Boyles Road, Greenhills	B
258	Greenhills Well	2 Boyles Road, Greenhills	B
260	Greenhills Inn	444 Greenhills Road, Greenhills	B
261	Greenhills Hall	460 Greenhills Road, Greenhills	B
262	Greenhills Post Office	466 Greenhills Road, Greenhills	B
263	Korrawilla Homestead Group	4286 Quairading-York Road, Greenhills	A
264	St Andrews Church & Cemetery	4369 Quairading-York Road, Kauring	A
265	Malebeling Agricultural Hall	Goldfields Road, Malebelling	B
266	Hawkhurst	2449 Northam-York Rd, Malebelling	B
269	Tipperary Farm	45 Burges Siding Road, Quellington	B

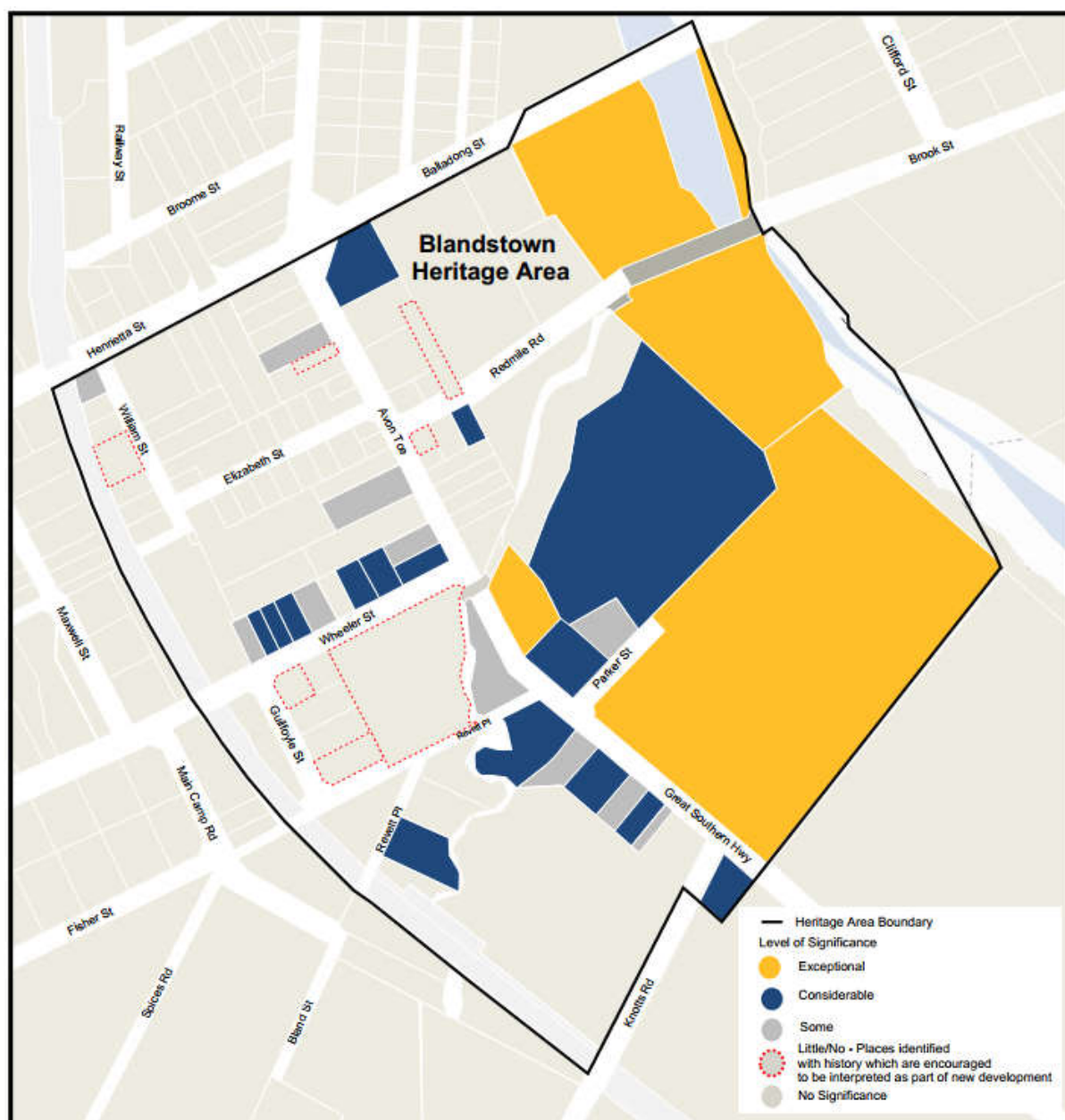
270	Tipperary Homestead	45 Burges Siding Road, Quellington	B
271	St Paul's Church (fmr)	2092 Northam-York Road, Quellington	B
272	Quellington School House (fmr)	835 Sees Road, Quellington	B
273	Quellington School (fmr)	844 Sees Road, Quellington	B
275	Burges Siding School & School Residence	3270 Spencers Brook-York Road, Burges	B
279	Residence (Kerry Downes)	2946 Spencers Brook – York Road, Wilberforce	B
281	St Peter's Anglican Church	6091 Great Southern Highway, Gilgering	B
287	Gwambygine Farm & Pool	5661 Great Southern Highway, Gwambygine	A
289	Talbot Hall (Site Talbot Brook School)	314 Talbot Hall Road, Talbot	B
291	Southoban Farm Convict Ruins	3381 Great Southern Highway, St Ronans	B
292	St Ronans Well	Great Southern Highway, St Ronans	A
293	Convict Road Remnants	Great Southern Highway, Inkpen (13 Mile Brook)	B
294	Charcoal Burner Site	526 Yarra Road, Mt Observation	A

HERITAGE AREA'S MAP OVERVIEW



BLANDSTOWN HERITAGE AREA

Places & Level of Contribution to Heritage Area

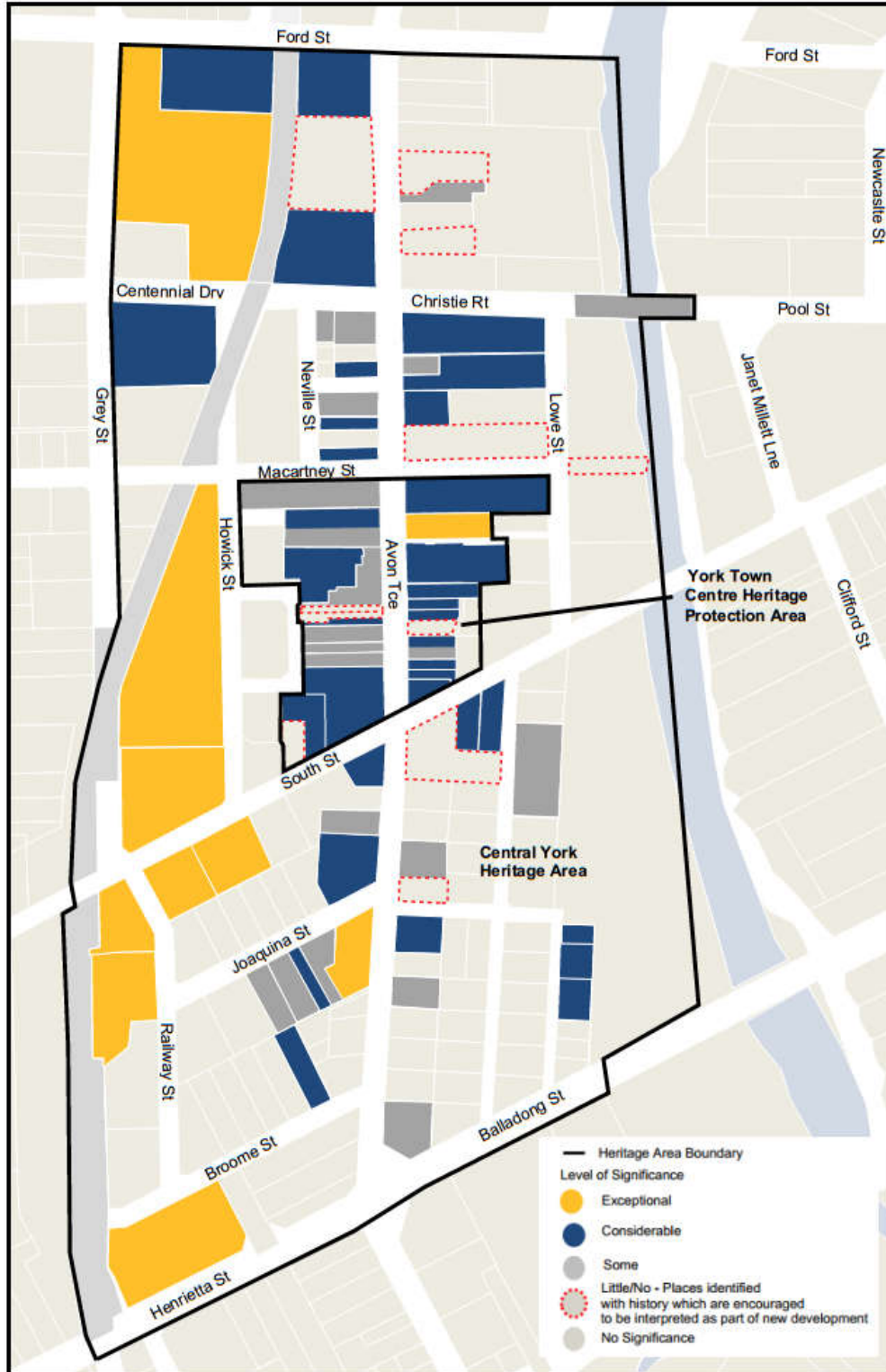


PLACE NO.	PLACE NAME	ADDRESS (Lot details set out on Place Sheet in Local Heritage Survey 2019)	CONTRIBUTION TO HERITAGE AREA
5	Balladong Farm	2 Avon Terrace, York	Exceptional
6	Cartref Cottage	7 Avon Terrace, York	Considerable
7	Butchers Shop (fmr)	13 Avon Terrace, York	Considerable
8	Duckham Lying-in House (fmr)	15 Avon Terrace, York	Some
9	Langsford House	18 Avon Terrace, York	Considerable
10	Albion Hotel (fmr)	17-19 Avon Terrace	Considerable
11	Brook Cottage	21 Avon Terrace, York	Some
12	Wansborough House	22 Avon Terrace, York	Exceptional

13	Blands Brook Bridge	Avon Terrace, York	Some
14	Residence & Bakehouse (fmr)	29 Avon Terrace, York	Considerable
15	Residence	31 Avon Terrace, York	Some
16	Kings Head Inn (fmr)	37 Avon Terrace, York	Some
17	Mongers Cottage	51 Avon Terrace, York	Little
18	Spencer's bakery (fmr)	53 Avon Terrace, York	Some
63	St John Anglican Church & Cemetery SITE	47 Balladong Street, York	Considerable
116	Residence	2 Guilfoyle Street, York	Little
117	Residence	14 Guilfoyle Street, York	Little
131	Bygraves House & Cobbler Shop (fmr)	5 Knotts Road, Balladong	Considerable
187	Longbottom Cottage	2 Parker Street, York	Some
201	SITE Parker's Bridge	Redmile Road, York	Some
202	Bridge House & Grounds	1 Redmile Road, York	Exceptional
203	Redmile House	2 Redmile Road, York	Exceptional
204	Heals Bridge	Redmile Road, York	Some
205	Balladong House	3 Redmile Road, York	Considerable
206	Clementine Cottage	13 Redmile Road, York	Considerable
207	SITE Rosemary's Cottage	17 Redmile Road, York	Little
208	Kenworthy Cottage	22 Redmile Road, York	Little
209	Burtons Cottage (aka Eliza's Cottage)	9 Revett Place	Considerable
244	York Drive-in Theatre	1 Wheeler Street, York	Little/None
245	Whittlers Cottage	2 Wheeler Street, York	Considerable
246	Wheeler Residence (fmr)	4 Wheeler Street, York	Considerable
247	Residence	8 Wheeler Street, York	Some
248	Cottage	10 Wheeler Street, York	Considerable
249	Kitty Paw Cottage	12 Wheeler Street, York	Considerable
250	Eglantyne Cottage	14 Wheeler Street, York	Considerable
251	Residence	16 Wheeler Street, York	Some
252	Residence	9 William Street, York	Little
253	Crossing Cottage	13 William Street, York	Some

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

CENTRAL YORK & YORK TOWN CENTRE HERITAGE AREAS
Places & Level of Contribution to Heritage Area



Central York Heritage Area

NO.	PLACE NAME	ADDRESS	CONTRIBUTION TO HERITAGE AREA
19	Residence	58 Avon Terrace, York	Some
20	Residence	68 Avon Terrace, York	Some
21	Residence (Spooky Hall)	72 Avon Terrace, York	Considerable
22	Shop	74 Avon Terrace, York	Little
23	York Town Hall	79-81 Avon Terrace, York	Exceptional
24	4 Shops	82 Avon Terrace, York	Some
25	Imperial Hotel	83 Avon Terrace, York	Considerable
26	Saints' (fmr)	87 Avon Terrace, York	Some
27	Sargents Pharmacy (fmr)	93 Avon Terrace, York	Considerable
28	SITE Royal Hotel	94 Avon Terrace, York	None
45	SITE Western Australian Bank Whealers Row Dusty Miller Inn	142 Avon Terrace, York	None
47	West Australian Bank (fmr)	147 Avon Terrace, York	Considerable
48	Union Bank (fmr)	148 Avon Terrace, York	Considerable
49	Council Chambers (fmr)	151 Avon Terrace, York	Considerable
50	W Dinsdale's Bootmakers (fmr)	152 Avon Terrace, York	Considerable
51	York Motor Garage (fmr)	153 Avon Terrace, York	Some
52	Stirling's Residence (fmr): CWA	154 Avon Terrace, York	Considerable
53	Bank of Australia (fmr)	155 Avon Terrace, York	Considerable
54	Penola House & Outbuildings	156 Avon Terrace, York	Considerable
55	Residence	161 Avon Terrace, York	Some
56	RSL York Sub Branch	164 Avon Terrace, York	Little
57	Mongers Trading Post (fmr) Mongers Store	165 Avon Terrace, York	Considerable
58	Billiard Room (fmr)	168 Avon Terrace, York	Some
59	York Hotel SITE	170 Avon Terrace, York	None
60	Mongers Trading Post (fmr) Mongers Yard SITE	173 Avon Terrace, York	None
61	Mongers Trading Post (fmr) Sandalwood Yards	179 Avon Terrace, York	Considerable
72	Stratford House Maternity Hospital (fmr)	4 Broome Street, York	Considerable
73	York Flour Mill	11 Broome Street, York	Exceptional
77	Uniting Church, Hall, Manse	109 Centennial Drive, York	Considerable
78	SITE Mongers Town Precinct	Christie Retreat/Avon River/Alfred Street/Ford Street	None
79	York Swing Bridge (Suspension)	Christie Retreat/Avon River	Some
80	Residence	53 Christie Retreat, York	Some
88	Faversham Stables/Coach House	9 Ford Street, York	Considerable
109	Faversham House	24 Grey Street, York	Exceptional
125	York Primary School (fmr)	6 Howick Street, York	Exceptional
126	Shire of York Administration Office	1 Joaquina Street, York	Some
127	York Masonic Lodge	3 Joaquina Street, York	Considerable
128	Infant Health Clinic (fmr)	5 Joaquina Street, York	Some
129	Warehouse	7 Joaquina Street, York	Some
136	Rotunda	14 Lowe Street	Little
152	Residence	22 Monger Street, York	Some
199	York Railway Station	13 Railway Street, York	Exceptional
200	Monument and Park	15 Railway Street, York	Exceptional
212	Residence	9 South Street, York	Considerable
213	Residence	11 South Street, York	Considerable
215	St Patrick's Church Group	22 South Street, York	Exceptional
216	Convent of Mercy School (fmr)	27 South Street, York	Exceptional

217	Convent of Mercy (fmr)	29 South Street, York	Exceptional
238	Residence	8 Thorn Street, York	Considerable
239	Residence	12 Thorn Street, York	Considerable
240	Residence	14 Thorn Street, York	Considerable

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

York Town Centre Heritage Area

NO.	PLACE NAME	ADDRESS	CONTRIBUTION TO HERITAGE AREA
29	Castle Hotel	95-103 Avon Terrace, York	Considerable
30	Davies Building	96-102 Avon Terrace, York	Considerable
31	Collins Building	104-106 Avon Terrace, York	Considerable
32	Central Buildings	105-113 Avon Terrace, York	Some
33	Collins Shops	108-112 Avon Terrace, York	Some/Considerable
34	Commonwealth Bank (fmr)	114 Avon Terrace, York	Little
35	Ezywalkin Boot Co (fmr)	115 Avon Terrace, York	Considerable
36	York Motor Museum	116-122 Avon Terrace, York	Considerable
37	Butcher Shop & Café	117-119 Avon Terrace, York	Little
38	Shops, Residence & Baker (fmr)	121-123 Avon Terrace, York	Some
39	York Courthouse Group	124-130 Avon Terrace, York	Considerable
40	Settlers House	125 Avon Terrace, York (behind)	Considerable
41	Collins (5) Shops	127-135 Avon Terrace, York	Some
42	York Post Office	134 Avon Terrace, York	Exceptional
43	Edwards Store (fmr) York Co-op	136-140 Avon Terrace, York	Considerable
44	Shops, Auction Mart, Pykes Store and Residence (fmr)	137-143 Avon Terrace, York	Some/Considerable
46	Palace Hotel (fmr) York Hotel	145 Avon Terrace, York	Some
135	Police Quarters (fmr)	5 & 7 Lowe Street, York	Considerable
214	SITE Print Shop	16 South Street, York	None

(further information on the significance/location of identified places can be found in the Shire of York Local Heritage Survey 2019)

LANDSCAPING AND GARDEN SETTING GUIDELINES

While the policy does not provide controls on the materials used in driveways, paths or the nature of residential gardens, some general guidelines are provided for interested persons.

Driveways and Paths

Traditional driveways and paths in the Central York, York Town Centre and Blandstown Heritage Areas were of local gravel or red clay.

The suggested materials for new driveways in the Heritage Areas include gravel, stabilised clay, red brick paving, brown or red asphalt or brown concrete. Footpaths in gravel and brick paving are suitable for older houses. Brick and concrete paving is suitable for contemporary houses.

Gardens

Gardens are a source of delight and an expression of individuality. Remnants of traditional gardens are as important to the character and atmosphere of a heritage town as the original buildings. It is important to the landscape of the town that these be conserved and ideally, new gardens would be designed to integrate with them. Front gardens are an important part of the streetscape and every endeavour should be made to enhance the character of York. Using traditional garden layouts and species that are tolerant of low water usage can also be an effective landscape strategy.

In order to maintain the garden settings of the Blandstown Heritage Area, the following landscaping principles are recommended:

- Landscaping associated with new development should reflect current 'Waterwise' garden principles, while maintaining a sympathetic approach to their general context. Use of drought tolerant species to encourage water conservation is preferred.
- Significant gardens that reflect their origins and contain authentic plant material should be conserved and integrated with new features in a sympathetic manner.
- Typically gardens in Blandstown area are simply laid out with a central path, lawns, planting beds and specimen tree planting. New gardens should be simply planned with a high proportion of lawn or low native ground covers over garden beds, perimeter beds, central beds and specimen tree plantings in larger gardens.
- Traditional tree plantings include Olive, jacaranda, magnolia, flooded gum, fruit trees and Canary Island Palms in larger gardens. In small gardens, fruit trees including mulberry, almond, citrus and crepe myrtle are common.
- Trees that shed branches, such as Sugar Gums and Lemon Scented Gums, are to be avoided.
- The principles of a traditional garden layout include:
 - Simple format and balanced layout, with less formality in planting.
 - A straight path from the gate to the front door, preferably centrally placed. Alternatively, the path may follow the side boundary and cut across at right angles to the front door.
 - For larger gardens a circular path or driveway with a central feature such as a specimen tree, flower bed or fountain.
 - Symmetrical garden layout to match a symmetrical house façade. Asymmetrical facades, i.e. buildings with side verandahs, should be treated differently.
 - Garden beds usually small in relation to lawn (or ground cover) area.
 - Lawns (or ground covers) planted with specimen trees, including deciduous trees, conifers, fruit trees or eucalypts.
 - Planting designed to create variety and year-round interest.
 - The common use of climbers, creepers, edging plants, hedges and bulbs.

INTERPRETATIONS & DEFINITIONS

Adaptation means modifying a place to suit the existing use, or a proposed use.

Association means the special connections that exist between people and a place.

Built Form means the configuration of the aggregate of all buildings, structures, etc., which make up a town or Shire.

Bulk means the combined effect of the arrangement, volume, and shape of a building or group of buildings. Generally, refers to structures which in their context appear relatively large.

Character is essentially the combination of the public and private domains. Every property, public place or piece of infrastructure makes a contribution, whether large or small. It is the cumulative impact of all these contributions that establishes neighbourhood character. The physical qualities of character in the Central York, York Town Centre and Blandstown Heritage Areas are diverse and include:

- the era of the majority of development;
- the grid subdivision pattern;
- the siting and orientation of development / built form on lots;
- the form and distribution of open space;
- building height, scale and proportion; and
- distinctive building styles, particular design elements, materials and finishes.

Compatible use means a use which respects the cultural significance of a place. Such a use involves no, or minimal impact, on cultural significance.

Conservation means all the processes of looking after a place, so as to retain its cultural significance.

Contemporary design means design styles that are of their time and that do not use the design elements of another time, such as historicism.

Context means the specific character, quality, physical, historic and social context of a building's setting and may, according to circumstances, be a group of buildings, a part of a street, whole street, part of a town or the whole town.

Cultural significance means aesthetic, historic, scientific, social, or spiritual value, for past or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Curtilage means a defined area that surrounds a dwelling or property, but in the wider sense is the area that defines the limits of a significant place or area.

Fabric means all the physical material of the place, including components, fixtures, contents and objects.

Form means the overall shape and volume of a building and the arrangement of its parts.

Grain means the pattern of arrangement and size of the buildings on their lots, and the subdivision pattern. The pattern or arrangement contributes to the texture on an area. Fine Grain is the quality or fine texture resulting from small and frequent subdivisions.

Heritage Item means a place, building, work, archaeological site, landscape or garden, or moveable relic, or place of Aboriginal significance identified on a heritage register.

Historic Character means the combination of particular characteristics or special qualities of a place related to its period or style of construction. This is generally summed up in the Statement of Significance.

Historicism means an excessive regard for past styles and may include copying them, as opposed to using contemporary design.

Infill means a new building in an established and valued historic context. Good infill is sympathetic to its surroundings and context, and creates a new structure that enhances and complements the existing character. Infill shall be distinguishable from the existing context but shall look like a well mannered neighbour.

Interpretation means all the ways of presenting the cultural significance of a place.

Maintenance means the continuous protective care of the fabric and setting of a place and shall be distinguished from repair. Repair involves restoration or reconstruction.

Meanings denote what a place signifies, indicates, evokes, or expresses.

Massing means the size and volume of a building.

Mixed Use Development means the mixing of compatible land uses in a balanced blend, integrated in close proximity to each other. Physically it includes both vertical and horizontal mixing of uses. No single use shall dominate other uses, although residential use is often the major component.

Place means site, area, land, landscape, building, or other work, group of buildings or other works, and may include components, contents, spaces and views.

Preservation means maintaining the fabric of the place, in its existing state, and retarding deterioration.

Reconstruction means returning a place as nearly as possible to a known earlier condition by the introduction of materials, new or old, into the fabric.

Related place means a place that contributes to the cultural significance of another place.

Related objects mean an object that contributes to the cultural significance of a place, but is not at the place.

Restoration means returning the existing fabric of a place to a known earlier state by removing accretions, or by reassembling existing components, without the introduction of new material.

Scale means the size of a building or addition and its relationship with surrounding buildings, the existing building in the case of an addition, or the landscape.

Setting means the area around a heritage place or item that contributes to and is part of its heritage significance. It may include views to and from the place. The setting may be pristine landscape, culturally modified landscape, gardens and streetscapes.

Statement of significance means a summary of those things that are of particular importance in relation to a particular place and tells us why a place has cultural heritage significance. It also guides how a place that is significant may be managed.

Streetscape (a) means the total visual impression gained from any one location within a street including the natural and man-made elements; and (b) is made up of the appearance of, and the relationships between, buildings in terms of design, scale, materials, colours, finishes, signs, external furniture, paving materials for roads, footpaths and landscaping.

Sympathetic or **Complementary** means a design outcome that shares the characteristics of the context and while it will not be the same as historic neighbours, will not look out of place amongst them.

Unobtrusive means not noticeable, especially when viewed from a public place.

Urban Form means the broad shape and structure of an urban community and the distribution of its major features.

Use means the function of a place, as well as the activities and practices that occur at such a place.

'Commercial development' shall refer to all non-residential development.

'Heritage Place' shall mean any place contained on the State Register of Heritage Places, the Shire of York Local Heritage Survey, any Heritage List or Heritage Area adopted under a Local Planning Scheme or contained in **Appendix 1 to 4** of this Local Planning Policy.

'Town Planning Scheme' shall mean any operative Town Planning Scheme within the Shire of York.

'Freestanding Sign' means a sign that is displayed on an advertising structure that is mounted on the ground on one or more supports.

'Monolith Sign' means a sign that is not attached to a building or any other structure and with its largest dimension being vertical. Such signs may consist of a number of modules and is generally uniform in shape from ground level to the top of the sign.

'Pylon Sign' means a sign supported on one or more piers, not attached to a building or other structure, and includes a detached sign framework supported on one or more piers to which sign infill may be added.

'Temporary Special Event Signs' means a temporary sign which is erected for a short-term event such as a fair or festival for charitable, religious, educational, sporting organisations or the like, which has been approved by the Shire of York. Temporary Special Event Signs must be removed at the completion of the event and consent must be sought from the Shire of York when signs are to be placed in a thoroughfare or a reserve.

'Tower Sign' means a sign affixed to or placed on a tower, chimneystack or open structural mast.