

Site Plan: Lots 12 and 13 (83) Avon Terrace, York



Our Ref: 18-136



2 April 2018

Bret Howson
Acting Executive Manager Infrastructure and Development Services
Shire of York
PO Box 22
YORK WA 6302

Attention: Carly Rundle – Senior Planning Officer

Dear Carly,

DEVELOPMENT APPLICATION – HERITAGE CONSERVATION AND REFURBISHMENT OF THE IMPERIAL HOTEL AT LOTS 12 AND 13 (83) AVON TERRACE, YORK

TPG+Place Match (TPG) on behalf of Imperial Hospitality Pty Ltd (the owners), are pleased to submit this Development Application to the Shire of York (the Shire) in relation to a proposal seeking approval for works associated with the conservation, renovation and reactivation of the Imperial Hotel located on Lots 12 and 13 (No. 83) Avon Terrace, York (the subject site).

In accordance with the Shire of York Development Application submission requirements, please find enclosed:

- A completed and signed Shire of York Schedule 9 - Form of Application for Planning Consent;
- A current copy of the Certificate of Title (Attachment 1);
- Three (3) copies of the proposed plans (Attachment 2);
- A Heritage Impact Statement included within the content of this letter; and
- A cheque payable to the Shire of York for \$240, being the application fee payable based on a total estimated development cost of \$75,000.

Additionally, we have enclosed the Proposed Occupancy Management Strategy and Associated Car Parking Requirements (Attachment 3).

Property Details

The subject site contains the Imperial Hotel, located on Lots 12 and 13 (No. 83) Avon Terrace, York. The subject site is bound by commercial development to the north, Avon Terrace to the east, Joaquina Street to the south, and Peace Park to the west.

The subject site is located within the York Town Centre Precinct.

Refer to Figure 1 – Location Plan

Refer to Figure 2 – Aerial Plan

The particulars of the existing Certificate Title and Survey Plan are summarised in the table below. NB this is a multi-title lot.

Lot	Plan/Diagram	Volume/Folio	Area	Registered Proprietor
12	P63	1949/639	1,530m ²	Imperial Hospitality Pty Ltd
13	P63	1949/639	1,012m ²	Imperial Hospitality Pty Ltd

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Refer to Attachment A – Certificate of Title

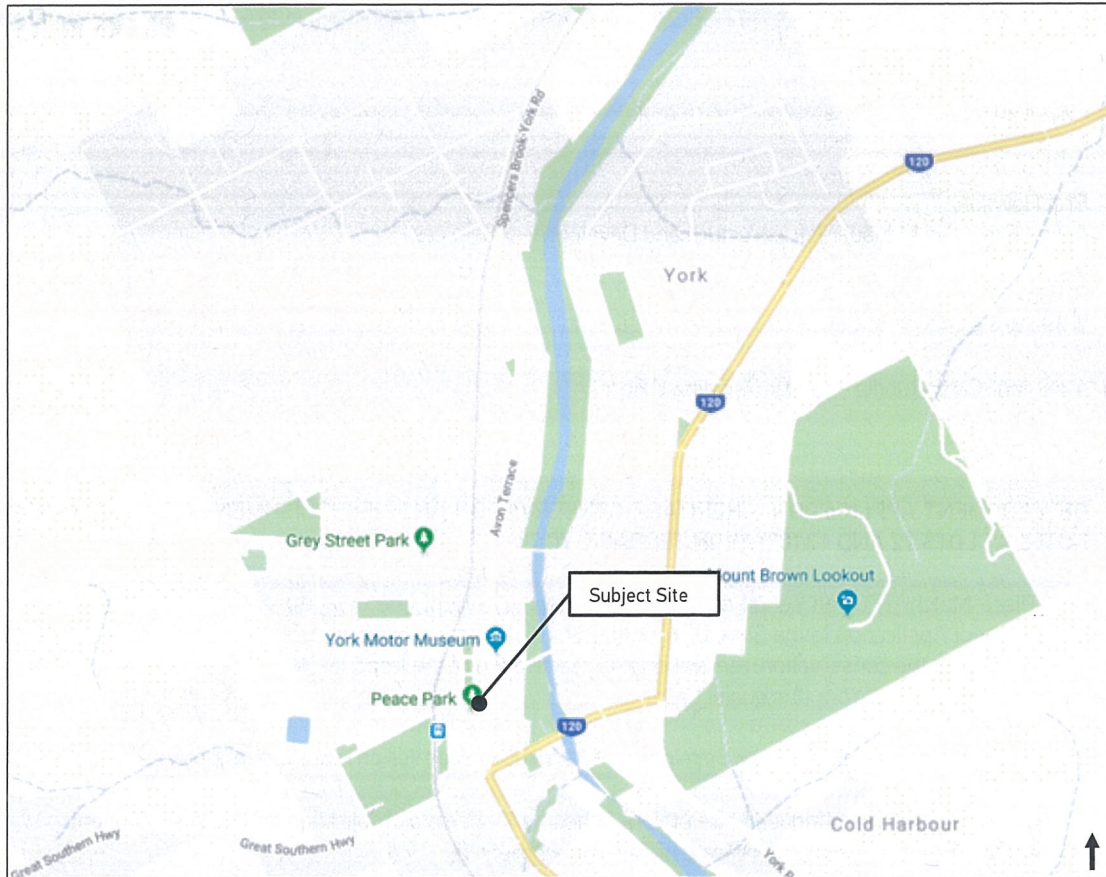


Figure 1 – Location Plan. Available at <<https://www.google.com.au/maps/place/83+Avon+Terrace,+York+WA+6302/@-31.8932026,116.765206,15.78z/data=!4m5!3m4!1s0x2a3315661b509aa70x5f966a93acd26776!8m2!3d-31.8910327!4d116.7681293>> [21.03.2018].

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Figure 2 – Aerial Plan with the subject site outlined in red. Available at <http://maps.nearmap.com?q=87%20Avon%20Terrace%2C%20York%20WA%206302%2C%20Australia%40-31.890956%2C116.768064&ll=-31.890956,116.768064&z=20&t=k&nmd=20090615> [21.03.2018].

The subject site comprises an informal car parking area over the northern portion of the site, a two storey heritage building - referred to as the Imperial Hotel over the southeast portion, four (4) small accommodation units, and a courtyard over the southwestern portion of the site adjacent to the remnants of a stables and laundry.

The Imperial Hotel building is constructed of tuck pointed random stone, hipped corrugated iron roof and timber verandah (reconstructed in 1988). It is a good representative of the Victorian Filigree architectural style. Within the ground floor of the Imperial Hotel is a restaurant, café, bar/function room, office and kitchen facilities with a main central staircase to the first floor. The first floor comprises fourteen hotel rooms, shared ablution facilities, store rooms and a communal shower and toilet. A single-storey stone kitchen forms an extension to the main building to the west, and a brick and zincalume toilet block lean-to extension to the north elevation which was added in the 1970s.

The building is currently vacant and is in a fairly good condition. It has a history of recent water ingress, causing minor damage and cracking to walls in several rooms. Evidence of rising dampness and inappropriate repairs are evident at lower level masonry on all elevations.

The informal car parking has no clear demarcation of car bays? and the current capacity of what? can therefore not be confirmed.



Figure 3 – Southern elevation of the Imperial Hotel where new café alfresco will be located. NB cement pointing to be raked out and replaced with lime mortar to match original (Source: TPG, 2018).



Figure 4 – Western elevation of the Imperial Hotel with the kitchen extension to the left and fire escape stairs which are being upgraded to meet BCA requirements. (Source: TPG, 2018).

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Figure 5 – View of the unsealed car parking area with a view of the ablution block to the right. (Source: TPG, 2018).



Figure 6 – View of the fireplace to form part of the proposed function suite. This wall will not be demolished. (Source: TPG, 2018).



Figure 8 – View of the ground floor office being converted to accommodate a DDA accessible toilet. This door is being widened approximately 250mm, and the architrave will be reinstated. (Source: TPG, 2018).



Figure 9 – View of former ablutions to the first floor with water damage to the timber floor and plaster being removed from the wall. This room will be returned to a bathroom use. (Source: TPG, 2018).

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Figure 10 – Damaged plaster board ceiling panel to be repaired. (Source: TPG, 2018).



Figure 11 – Former Stables to be conserved and incorporated into parking. (Source: Imperial Hotel CMP, Heritage Intelligence 2017).

Heritage Considerations

Historic Listings

The Imperial Hotel is recognised as a place of cultural heritage significance, being included within the Heritage Council of Western Australia's (HCWA's) State Register of Heritage Places (Place No. 10725) and listed on the Shire's Municipal Heritage Inventory (MHI) as having a Management Category 1A. The Imperial Hotel is also located within the York Town Centre Precinct which is also included on the Shire's MHI.

Furthermore, the Imperial Hotel is also classified by the National Trust in its own right.

Historic Significance

The following Statement of Significance has been extracted from the HCWA's register documentation for the Imperial Hotel.

Imperial Hotel, York, a two-storey, random coursed stone and corrugated iron Victorian Filigree building constructed in 1886, with outbuildings comprising former Stables and Second-class Lodgers Accommodation, has cultural heritage significance for the following reasons:

the place makes a significant contribution to York, an important Western Australian historic town, through its architectural appeal and streetscape prominence;

the place is a fine representative example of Victorian Filigree architecture;

the place demonstrates the impact of the railways in rural Western Australia, which encouraged the development of the towns and associated districts;

the Second-class Lodgers Accommodation is rare and is indicative of the class structure that existed in the nineteenth century;

the place is rare as a hotel/inn which retains its original stables; and

the place is valued by the local and wider community, the many tourists who visit to enjoy the historic townscape and character of York, and by those who have partaken of the hospitality and accommodation offered in the place.

The gazebo (previously demolished) and trellis in the rear yard are of no heritage significance. The 1970s ablution block adjoining the rear of the hotel is of no heritage significance and is intrusive.

Conservation Management Plan

A Conservation Management Plan (CMP) was prepared in 2017 by Heritage Intelligence for the ongoing conservation of the Imperial Hotel. The CMP contains a number of policies that are appropriate for the retention of the assessed cultural significance, within the future use and development of the place. Recommendations are outlined to ensure the appropriate implementation of the policy.

The proposed development has been assessed against those relevant policies of the CMP (Heritage Intelligence 2017), contained within the Heritage Impact Statement section below.

Planning Framework

Shire of York Town Planning Scheme No. 2

Pursuant to the Shire of York Town Planning Scheme No. 2 (TPS2), the subject site is zoned 'Town Centre'. The objectives for development within the 'Town Centre' zone are:

- a) *to retain the town centre of York as the principal place for retail, commercial, civic, and tourist-oriented uses in the District;*
- b) *to preserve the unique qualities of the town centre as a heritage place, including the conservation of existing heritage buildings, and to avoid development which will detract from those qualities;*

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- c) *to ensure development complies with Design Guidelines adopted by the local government for the town centre;*
- d) *to encourage a high standard of development of commercial facilities to service the residents, the farming sector, tourists, and travelers;*
- e) *to encourage a high standard of landscaping in and around the town centre; the local government will undertake planting of shade trees in road reserves and public carparks where appropriate; and*
- f) *to encourage a high standard of residential and residential mixed-use development in appropriate locations that contribute to the amenity, security and economic sustainability of the town centre.*

The proposed development is consistent with the objectives above, being for the conservation, internal restoration works and new car parking to an existing dormant hotel facility, that will be reactivated to provide a commercial and tourist oriented use that will contribute to the viability of the Town Centre.

The proposed development will facilitate the existing approved uses as a 'Hotel', 'Restaurant' and 'Ancillary Accommodation', which are permitted or discretionary use classes within the Town Centre zone. In discussions with the Shire we understand that the new Local Planning Scheme 3 (LPS3) currently under development will permit all these uses on the subject site.

TPS2 contains development requirement which stipulates that the Shire shall have regard to the following relevant provisions for any development within the Town Centre: -

- *the relationship to surrounding development and any impact upon the heritage significance of the York town scape, its streetscapes, and any Heritage Place or Heritage Precinct; and*
- *the layout of car parking shall have regard for traffic circulation in existing car parking areas and shall be integrated with an existing or adjoining car park.*

Heritage – Precinct and Places of Cultural Significance

Part 5 of TPS2 contains a number of provisions which aim to facilitate the conservation of places of heritage value and to ensure as far as possible that development occurs having due regard to heritage values. Specifically, Clause 5.1.4.3 of TPS2 allows for a heritage assessment to be carried out prior to the approval.

It is our professional opinion that the statutory listings prepared by the Heritage Council of WA and the Shire, in conjunction with the recently prepared CMP (Heritage Intelligence 2017), aptly demonstrate a full and comprehensive assessment of the building's heritage value, and a new heritage assessment is not required.

In accordance with best practice, a Heritage Impact Statement has been included within this application which assesses the potential impact of the proposal against the established cultural heritage values expressed in the place entry on the State Register of Heritage Places. This is in accordance with HCWA suggested format.

Car Parking

Schedule 4 of TPS2 provides the minimum car parking requirements for the proposed development which is assessed in the Planning Assessment Section below.

It is also noted that Section 4.5.2 of TPS identifies the following provisions relevant to this proposal:

- *the location of the car spaces on the site and their effect on the amenity of adjoining development, including the potential effect if those spaces should later be roofed or covered; and*
- *the extent to which car spaces are located within required building setback areas;*

Due to the nature of the operation on the site and the extent of parking required, there will be parking bays that will abut neighbouring development. To mitigate light or sound pollution from the car park into neighbouring property to the north, a new screen fence is proposed to be installed within the subject site. The car bays will not be covered.

To the north of the building, not in front of the building itself, there will be three bays with landscaped edges in front of the building line and this is covered in the following section.

Variations to Scheme Provisions

Pursuant to Clause 5.1.5 of TPS2, there is provision for the Shire to vary any provision of TPS2 where conservation of a place, or enhancement or preservation of its heritage values are proposed. Given the extent of positive heritage conservation work being proposed, including the reactivation of a landmark heritage building, this discretionary provision is triggered. It is the conclusion of this report that variations being sought are very minor and consist only of the following:

- three car bays are proposed for the northern car park area adjacent to the public footpath on Avon Terrace which sits forward of the main building line. This may be considered contrary to 4.5.2 (c) of TPS2. These bays will however be 'softened' with landscaping on the boundary and their streetscape impact will be minimal.

Shire of York Heritage Precincts and Places Policy

The Shire of York Heritage Precincts and Places Policy (the Policy) has been prepared to ensure that additions or alterations to existing buildings and new developments do not diminish the overall context and character of the area. The objectives of the Policy are to:

- To conserve and protect the cultural heritage significance of the Precincts and Places;*
- To ensure that new buildings and modifications to existing buildings can be accommodated within the Precincts without adversely affecting the heritage significance and character of the area; and*
- To provide improved certainty to landowners and the community about the planning processes for development within the areas.*

The proposed development is consistent with the objectives above, being for conservation, internal alterations and a new car parking area only.

New Development

Section 2.4.2 of the Policy outlines general provisions for new development, including demolition or alterations and additions. There is a specific provision which outlines that the Council may have discretion to vary the requirements of the Policy.

Demolition

Section 2.4.3 of the Policy outlines provisions for demolition of places listed on the State Register of Heritage Places, and stipulates the circumstances where justification is required for any demolition of a heritage place. A discussion regarding demolition is included within the Heritage Impact Statement below.

Commercial Development

Section 4 of the Policy outlines the guidelines for commercial development within the Central York Precinct which comprises the site of the Imperial Hotel. Specifically, the guidelines for commercial development within the Central York Precinct relate to scale and size, form, siting, materials and colours, detailing and setting.

Given that the development is, with the exception of car parking, contained within the envelope of the existing heritage building, the proposed development is considered to be consistent with these guidelines. Within the Heritage Impact Statement section below the alterations are assessed against the relevant policies of the CMP.

Proposal

The proposed development is one that seeks to conserve, refurbish and adapt the Imperial Hotel in line with contemporary function and compliant with BCA standards.

Specifically, the proposed development is to comprise:

Exterior/ Landscaping

- A new 38 bay (plus 1 accessible bay) sealed car parking area;
- Removal of one tree to the northeast of the site to accommodate the new car parking area;
- Three car bays are incorporated into ruined stables (without loss of heritage fabric);

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- New fencing to the north of the refurbished toilet facility to improve the appearance of this area from the car park;
- Landscaping along the edge of the Avon Terrace pavement and the proposed Car Park; and
- A new screen fence on the northern boundary to mitigate any impact on neighboring amenity.

Ground Floor

- Modification of the 1970's built male and female toilets extension;
- Modification of the former managers office to allow for a new universal access toilet facility;
- Removal of all internal elements within the kitchen extension and replacement with modern fittings;
- Alterations to the kitchen extension to accommodate a new service entry and utilities compound; and
- Modifications to three existing entrances to ensure compliance with AS 1428; (the original main entrance will not be altered).

First Floor

- Alterations to create the function suite which includes the removal of two brick walls;
- Modifications to the layout of the male and female toilets; and
- Creation of a manager accommodation unit.

The maximum occupancy at any one time for the building is to be 150 people. The upstairs function suite is to become a bookable space for up to 70 people and is not for *ad hoc* patron dining. Function suite space is also provided to the ground floor for patrons with mobility issues in the absence of any lift services.

The first floor verandah is not included as part of the function suite, but may be opened up in the summer months as a 'spill out' space. This will not increase the capacity of the function suite as a venue, as the structural engineer determined the upstairs maximum floor loading capacity is for 70 people. Therefore, it will not increase demand on parking. The reactivation of the veranda will have considerable benefits to the streetscape character of the Town Centre and enhance the appreciation of the building.

To ensure the safe and efficient management of the building, and to assist with parking capacity, at any one time the following scenarios will apply (this is explained in detail with the attached Proposed Occupancy Management Strategy) :-

Lunchtime and External Alfresco Area

- The café and café alfresco area fronting to Avon Terrace to be occupied;
- The Beer Garden to the rear of the premises to be occupied; and
- If the upstairs area is in use (maximum 90 people) the maximum occupancy downstairs will be 60 people.

Evening meals and External Alfresco Area

- The restaurant and external restaurant dining area fronting to Joaquina Street to be occupied;
- The Beer Garden to the rear of the premises to be occupied; and
- If the upstairs area is in use (maximum 90 people) the maximum occupancy downstairs will be 60 people.

All other times

- The Alfresco and Beer Garden areas will be closed during inclement weather.
- If the upstairs area is in use (maximum 90 people) the maximum occupancy downstairs will be 60 people, likely in the Beer garden area.

Planning Assessment

The following Table provides an assessment against those relevant provisions of TPS2 and the Policy.

Reference	Requirement	Provided/Comment
TPS 2- Section 5.1.4 Heritage	Notwithstanding any existing assessment on record, the local government may require a heritage assessment to be carried out prior to the approval for any development proposed in a Heritage Precinct or individual entry listed on the Heritage List.	Not required – on State Register of Heritage Places, Conservation Management Plan prepared in 2017.
TPS 2- Schedule 4	Car Parking 34 bays for every 100m ² of drinking area other than public lounge areas - 1 bay for every 4 seats which an eating area is designed to provide, or 25 bays for every 100 m ² of eating area or part thereof, whichever produces the greater number of parking bays. 1 bay for every bedroom. 1 bay for every 6 seats provided or capable of being provided in assembly areas, or twenty-two 22 bays for every 100m ² of assembly area, whichever produces the greater number of car parking spaces. 22 bays for every 100m ² of beer garden or outdoor drinking area.	Refer to Proposed Occupancy Management Strategy in Attachment 3. The proposed management strategy's states that the 38 parking bays + 1 DDA bay provided are compliant with what is required by TPS2 in each of the five management scenarios. In this regard, the proposal is considered to be acceptable on the basis that the maximum number of patrons being 150 during peak operating hours can be accommodated.
Section 4.4.3 - Heritage Precincts and Places Policy	Siting No car parking bays and car parking areas shall be provided in front of any building between the building and a public footpath.	Complies.
Section 4.4.4 - Heritage Precincts and Places Policy	Materials and Colours Windows and Doors: <ul style="list-style-type: none"> • Timber framed, especially when visible from the street 	Complies.
Section 4.4.5 - Heritage Precincts and Places Policy	Detailing New DDA door to replace non original French doors.	Complies. Only one door is being altered. This door is currently French doors which are not significant fabric (not original). The proposed door will match the design of the existing door, however will be single leaf outward swinging, rather than French doors to comply with AS 1428.
Section 4.4.6 - Heritage Precincts and Places Policy	Setting Fibre cement sheeting or steel fencing, iron or Colorbond sheeting may be used to fence back yards if its visual impact from the street can be limited.	Complies. The proposed fencing screening toilets and utility yard will not be visible from the streetscape.

----- Heritage Impact Statement on following section to be extracted for HCWA referral -----

Heritage Impact Statement

Levels of Significance and Proposed Work

The Imperial Hotel Conservation Management Plan (Heritage Intelligence, 2017) uses a five-tier system to identify areas and elements of significance, they are: 'exceptional' significance, 'considerable' significance, 'some' significance, 'little' significance and intrusive. Areas and elements within each grading need to be managed commensurate with their relative significance. i.e. the greater the significance the more sensitive to change that element is.

Those elements of the Imperial Hotel listed within the Imperial Hotel Conservation Management Plan (Heritage Intelligence, 2017), are listed below. Those elements which are subject to conservation or adaptation as part of this proposal are will form the basis of assessing potential impact. Some elements appear in two management categories, in these circumstances potential impact is assessed on the higher level of significance.

Element of Building	Proposed Work
Considerable Significance - High sensitivity to change – Conservation Essential	
• Overall appearance	Repainting of those existing external painted elements to match most recent colour scheme.
• Setting (on site)	The new car park will include new landscaping
• General massing	NA
• Roof geometry	NA
• External walls (original)	Raking out of cement pointing and repointing to match original mortar visually and functionally
• Doors (external original)	NA
• Windows (original)	Painting and replacing damaged members like for like
• Interior layout (original)	Alteration of three hotel rooms into one function suite. Partial demolition of two brick partition walls and one stud wall. Former managers office converted into DDA toilet. Upstairs ablutions to be modernised and extended into neighbouring room.
• Interior walls	Localised demolition to accommodate function suite. Nibs retained for interpretative purposes.
• Ceilings (pressed metal original)	Retained and repaired.
• Ceiling (kitchen timber original)	Retained and covered to protect and fix services.
• Floors (original: ground floor jarrah floorboards)	Retained, sanded and oiled.
• Floors (original: first floor Oregon floorboards)	Retained, sanded and oiled.
• Cellar (rear)	NA
• Cellar (inaccessible)	NA
• West parapet wall (boundary)	NA
• Accommodation units (4)	Retained
• Stable remnants and laundry	Retained, stabilised and incorporate new parking bays
Some Significance - Moderate sensitivity to change – Conservation Highly Desirable	
• Roof treatment	NA
• Verandahs	Retain, repaint balustrade and re-oil decking.
• Interior walls	As above
• Interior hard plaster walls	As above
• Cellar (inaccessible)	NA
• Accommodation units (4)	As above

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• Stable remnants and laundry	As above
Little Significance – Little sensitivity to change – Can be retained or removed to suit function	
• Verandahs	As above
• Doors (external not original)	Alteration of one pair of non-original doors to become DDA accessible. Will visually appear the same.
• Windows (not original)	Retain and repaint.
• Ceilings (not original)	Plasterboard ceilings to be retained and repaired.
• Floors (other)	Carpet, tiles and linoleum to be replaced.
Intrusive – desirable to change	
• Windows (not original)	Retain
• Floors (other)	As above
• Ablutions addition	To be modernised and screened from car park.

Assessment of Heritage Impact

Those areas of the Imperial Hotel are original and are identified in the CMP as ranging from Considerable significance to intrusive. The works proposed are generally quite minimal and will facilitate the reopening and reactivation of the Imperial Hotel into a viable new enterprise for the benefit of the community and the town centre.

The elements of greatest significance are the setting, the overall site, original walls, floors and external door at the main entrance. The exterior of the building will remain unchanged other than fresh paint. Where new doors are to be incorporated, they will either incorporate original fabric or will be designed to visually match existing from the street.

The requirement for car parking means that the remnant stables have to be adapted to accommodate car bays. The treatment of the ground will have to be detailed to ensure that water drains away from the wall footings.

Value	Potential Impact	Amelioration of Impact
<i>the place makes a significant contribution to York, an important Western Australian historic town, through its architectural appeal and streetscape prominence,</i>	Nil – the proposal related predominately to internal works and will not affect its architectural appearance and streetscape prominence. Its reactivation is a positive enhancement of the streetscape prominence. The changes to one door will not have an impact and this is discussed.	The French door facing onto Avon Tce proposed to be altered is not original and not significant. The proposed alterations to original doors are to ensure both have compliant thresholds i.e. through a Raven threshold (reversible) and to swing the doors outwards. Both doors will not change visually.
<i>the place is a fine representative example of Victorian Filigree architecture;</i>	Nil – the proposed development will not alter its Victorian Filigree architectural features but will conserve them.	NA
<i>the place demonstrates the impact of the railways in rural Western Australia, which encouraged the development of the towns and associated districts;</i>	Nil.	NA

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<i>the place is rare as a hotel/inn which retains its original stables;</i>	Minor- The remnant stables will accommodate new parking bays and the proposal will retain the compatible uses which typically operate within a hotel.	The treatment of the car parking bays in the remaining stables will direct water away from wall footings and incorporate a gravel channel at wall footings to mitigate rising damp issues.
<i>the place is valued by the local and wider community, the many tourists who visit to enjoy the historic townscape and character of York, and by those who have partaken of the hospitality and accommodation offered in the place.</i>	Nil – The place is currently vacant and the proposal will facilitate the reactivation and reuse of the building which will be valued by the local and greater community. Its considered that this aspect of the proposal is a considerable heritage benefit.	NA
<i>The gazebo and trellis in the rear yard are of no heritage significance. The 1970s ablution block adjoining the rear of the hotel is of no heritage significance and is intrusive.</i>	Nil.- the rear ablution block will be screened from view to ameliorate this existing intrusive element.	NA

Policy 2.5 – CMP	Site Application	
	Retain and conserve the place and its remaining context as identified in this report.	Complies
Policy 2.6	Design intent	
	Any new work should be sympathetic, with the remaining fabric of Some or Considerable Significance, or able to be reversed without damage to the surrounding fabric at a later date.	Complies
Policy 2.7	Current Use	
	Establish an appropriate function: Any future compatible uses and users must not compromise the significance of the place as described in the Statement of Significance.	Complies
Policy 2.8	Fabric and Setting	
	Any new development of Imperial Hotel, York should respond positively to the existing building assessed as being significant. Development that would be considered detrimental to the setting or massing would include changes to the scale, form, existing building alignment, or ground level changes.	Complies (New Car Park)
Policy 2.8	Considerable Significance	
	<p>These areas are extremely important in terms of the place and should be conserved if the place is to retain its meaning and significance.</p> <p>The fabric assessed as of Considerable Significance should be retained, restored and conserved as appropriate.</p> <p>Furnishings, fixtures and fittings should be respectful and responsive to the significance of the place, and any uses should not prejudice the associations and meanings of the place or spaces within it.</p>	Generally Complies – Minor demolition to first floor rooms will provide viable new function to activate verandah. Original layout will be legible in the wall nibs and bulk heads. Structural detailing considered minimal and well designed.

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	<p>Intrusive elements should be removed.</p> <p>Any new elements should be of a removable nature and not impact on considerably significant fabric.</p> <p>Any damaged fabric should be restored.</p> <p>Minor adaptation could be acceptable. It should be limited to the introduction of new services with full consideration of all alternatives prior to the intrusion into the original fabric.</p> <p>Structural alteration to the original fabric is generally not acceptable. However, minor structural adaptation could be considered if the impact on the original significant fabric were minimal, and if the proposal were in line with the Conservation Policy for the place. Full documentation and recording of the adaption (before, during and after) should be undertaken.</p> <p>No development or works should adversely impact on the setting or aspect of the place.</p>	
Policy 2.10	Some Significance	
	<p>This is the threshold for entry onto the State Heritage Office's Register of Heritage Places. Elements of some significance are elements of the original fabric of the place that have generally undergone considerable change or alteration. Although the elements relate to the history and development of the place, they may be adapted or altered, provided the impact is assessed against the conservation of the place in its entirety. The fabric assessed as Some Significance should be retained, restored and conserved as appropriate. Adaptation could be acceptable. It should be limited to the introduction of new services, fixtures and partitions of a removable nature that do not affect the external or internal appearance of the place. Small scale, discreet structural alterations or openings to the original fabric are acceptable. Full documentation and recording of the adaption (before, during and after) should be undertaken. Finishes that are new or different could be acceptable. They should not damage or impact on original evidence of significant materials or finishes.</p>	Generally Complies – new fit out and finishes will not detract from the historic aesthetic of the spaces
Policy 2.11	Litter Significance	
	<p>This category can include additions and alterations made to the original fabric to accommodate changing requirements. They tend to be expedient and their impact upon the place ranges from neutral to moderately intrusive. The elements can be altered for adaptive or conservation works, depending on future use requirements. Ensure that any proposed works to elements of little significance do not impact on or detract from elements of greater significance. Before removal or adaptation of any elements, full</p>	Generally Complies – new fit out and finishes will not detract from the historic aesthetic of the spaces

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	documentation and recording (before, during and after) should be undertaken.	
Policy 2.12	Intrusive	
	Intrusive elements include items that, in their present form, have an adverse affect upon the significance of the place and removal should be encouraged. Removal of any intrusive elements should be assessed in consideration of issues such as function and economics prior to implementation. Before removal or adaptation of any elements, full documentation and recording (before, during and after) should be undertaken. Removal should be undertaken when the opportunity arises, or when the element is no longer required, unless their removal is identified as an urgent matter.	Generally Complies – although not removed, impact of intrusive elements is sought to be ameliorated i.e. screen of toilet block.
Policy 3.6	Heritage Tourism	
	Respond to these 7 principles as a basis for any tourism activity at the place.	Complies
Policy 4.4	Burra Charter	
	All conservation and interpretation of the existing buildings, other elements, and the setting, and any future development be in accordance with the principles of the Burra Charter. (Appendix 1)	Complies
Policy 13.4	Future Opportunities	
	In terms of a long-term viability, the place needs to be used for viable and appropriate functions.	Complies

Conclusion

This Heritage Impact Statement has demonstrated that the proposed conservation and reactivation of the Imperial Hotel has no irreversible impact on the cultural heritage value of the place. Where the fabric is being altered to accommodate new function, this has been minimised and appropriate steps have been taken to interpret the change and the historic relevance of the altered fabric.

The benefits of this proposal to the community and the heritage value of the building are considerable. The alterations and necessary car parking associated with its re-opening are sufficiently minimal and well considered to facilitate that outcome.

Ongoing conservation of the building is of paramount importance and the continued efforts of the owners would be best informed by building conservation specialists skilled in this area to ensure that the future repairs have the best chance of long term success. Particularly in regards to masonry conservation.

Summary

Based on the above assessments, it has been demonstrated that the proposed development will not adversely impact on the heritage values of the place. Rather the proposal will allow for the conservation and reactivation of a landmark building that would otherwise remain vacant and underappreciated on its prominent street corner

The proposed occupancy management strategy has been well considered to alleviate any undue pressure on the building in operation and in particular to local car parking in the York town centre.

Based on the information provided, it is respectfully requested that the Shire considers determining this Application under delegated authority following referral to the State Heritage Office. If public advertising and council determination is required then we would request that this is undertaken with due haste and is placed on the next available agenda as there is a commercial urgency for this project to proceed in the very near future. We trust the information provided will assist the Shire in assessing the proposal and we look forward to the Shire's favourable consideration of this application.

Should you have any queries or require clarification on any of the matters presented herein please do not hesitate to contact Marc Beattie on (08) 9289 8300.

Yours sincerely
TPG+PLACE MATCH



Marc Beattie
Senior Heritage Planner

Attachment 1 – Certificate of Title

WESTERN



AUSTRALIA

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

REGISTER NUMBER	
N/A	
Duplicate Edition	DATE DUPLICATE ISSUED
1	14/7/2017

VOLUME 1949 FOLIO 639

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

THIS IS A MULTI-LOT TITLE**LAND DESCRIPTION:**

LOTS 12 & 13 ON PLAN 63

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)IMPERIAL HOSPITALITY PTY LTD OF UNIT 3 51 FARRALL ROAD MIDVALE WA 6056
(T N671921) REGISTERED 13/7/2017**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**
(SECOND SCHEDULE)

1. *J841978 MEMORIAL. HERITAGE OF WESTERN AUSTRALIA ACT 1990. REGISTERED 21/7/2006.
2. *L455241 MEMORIAL. HERITAGE OF WESTERN AUSTRALIA ACT 1990. LODGED 18/10/2010.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: P63
PREVIOUS TITLE: 1115-55
PROPERTY STREET ADDRESS: 83 AVON TCE, YORK (12/P63).
83 AVON TCE, YORK (13/P63).
LOCAL GOVERNMENT AUTHORITY: SHIRE OF YORK
NOTE 1: J524344 SECTION 138D TLA APPLIES TO CAVEAT J097126.

LANDGATE COPY OF ORIGINAL NOT TO SCALE Wed Mar 28 15:16:49 2018 JOB 56343897

Landgate
www.landgate.wa.gov.au

AUSTRALIAN STANDARDS

THIS DEVELOPEMENT TO COMPLY WITH THE FOLLOWING STANDARDS :-

1. LIGHT TIMBER FRAMING CODE AS 1684.2 - 2010
2. TRUSS ROOF CODE AS 4440 - 1997
3. CONCRETE CODE AS 2870 AND 3600
4. EARTHQUAKE DESIGN CODE AS 1170.4
5. SOIL CONDITIONS IN ACCORDANCE TO AS 2870
6. ELECTRICAL STANDARDS TO AS/NZS 3000:2000
7. PLUMBING STANDARDS TO AS/NZS 3500:2000
8. DESIGN FOR ACCESS AND MOBILITY TO AS 1428.1
9. STAIRCASE - BCA Pt3.9.1 AS1657 SECTION 4

GENERAL NOTES

1. ALL DIMENSIONS, LEVELS & MATERIALS TO BE CHECKED BY BUILDER PRIOR TO WORK COMMENCING.
2. ALL CONSTRUCTION TO CONFORM TO LOCAL AUTHORITIES BYLAWS AND THE BUILDING CODE OF AUSTRALIA
3. ALL FINISHES TO BE AS SELECTED BY OWNER.
4. AN APPROVED METHOD OF TERMITE PROTECTION (BIFENTHRIN OR SIMILAR) TO BE USED BELOW ALL NEW CONCRETE.
5. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHERS IN THE SET.
6. ENGINEERS DETAILS ARE TO TAKE PRECEDENCE OVER ARCHITECTURAL DETAILS

B.C.A. ENERGY EFFICIENCY REQUIRMENTS

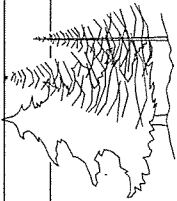
1. R3.5 BATTS OVER CEILINGS WITH REFLECTIVE SARKING.
2. SEALING DEVICE TO EXHAUST FAN.
3. WEATHER SEALS FITTED TO ALL EXTERNAL DOORS AND WINDOWS.
4. ALL GLAZING IS CLEAR FLOAT.
5. ALL EXTERNAL WALLS FILLED WITH R2.5 BATTS
6. EXTERNAL STUDWORK FIXED WITH REFLECTIVE SIZALATION SHEETING AND THERMAL CLADDING
7. ALL INSULATION REQUIREMENTS TO BE IN ACCORDANCE WITH PART 3.12 OF THE B.C.A.

DESIGN CRITERIA

1. REGION A. TERRAIN CATAGORY 2 TO AS 1170.2
2. 'H' CLASS SITE TO AS 2070. NATURAL GROUND TO BE COMPACTED TO 92% MMDD LEVEL WITH SAND PAD IF NECESSARY. DO NOT CUT TO FILL UNDER BUILDINGS
3. ACCELERATION COEFFICIENT OF 0.13 TO AS 1170.4 TO EARTHQUAKE CODE

DEVELOPMENT APPLICATION SET

		SY049-05/18 APPENDIX C	
		DRAWN	
		DATE	
		REVISION	
		SHEET 01	
		PINEFIELD'S OF YORK	
		GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 MOBILE 0414 885 338 EMAIL gwb151@gmail.com	
		DEVELOPMENT PROPOSAL	
		IMPERIAL HOMESTEAD LOT 12 AVON TERRACE YORK W.A. 6302	
		MAR 18	
		DATE	
		ISSUED FOR DEVELOPMENT APPLICATION APPROVAL	
		REVISION	

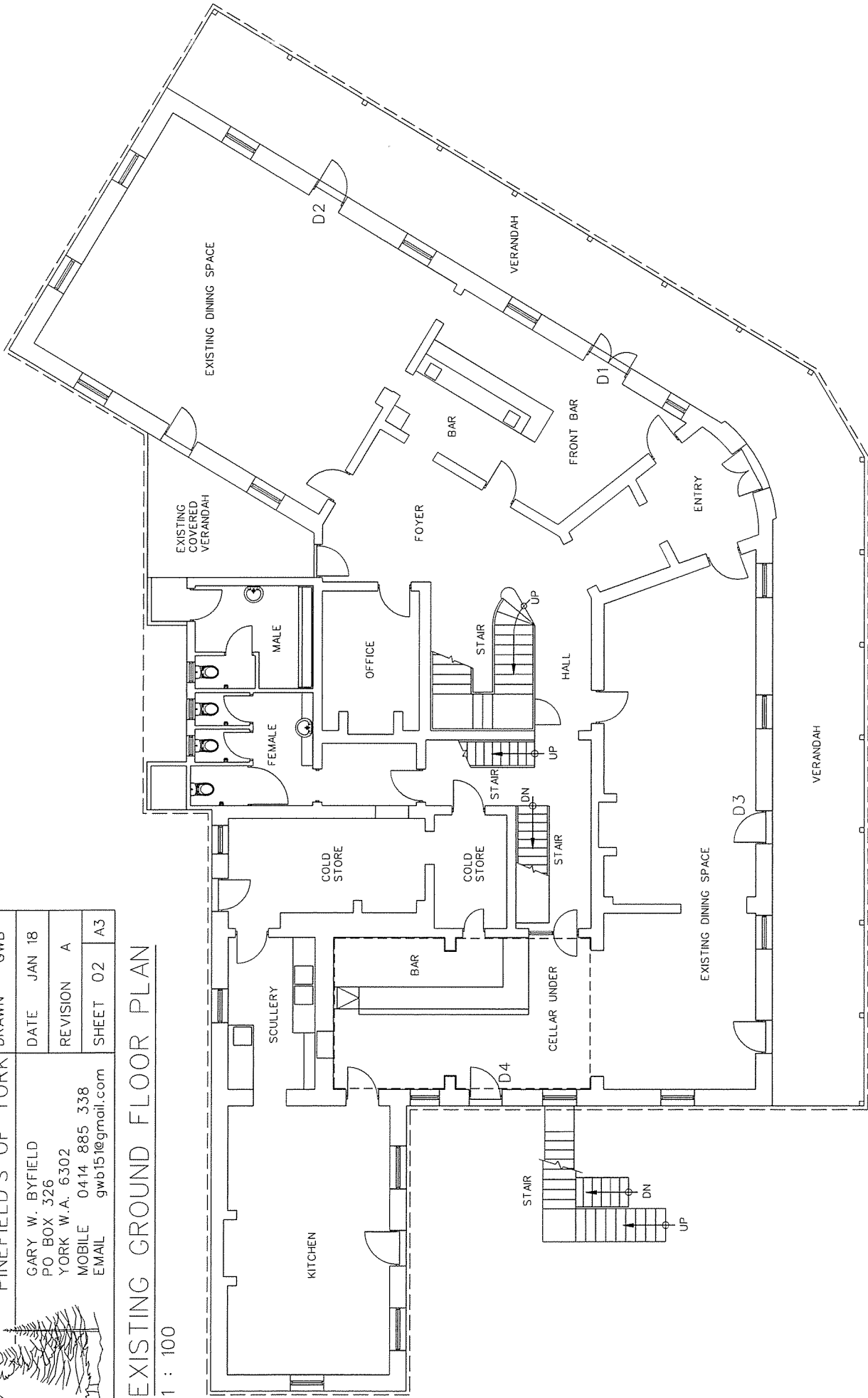


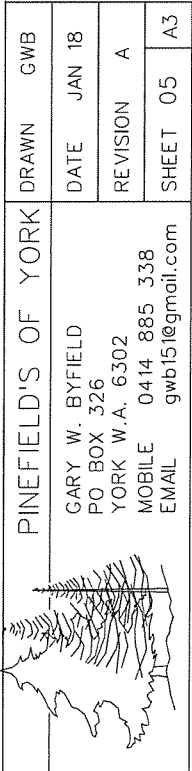
PINEFIELD'S OF YORK
GARY W. BYFIELD
PO BOX 326
YORK W.A. 6302
MOBILE 0414 885 338
EMAIL gwb151@gmail.com

DRAWN	GWB
DATE	JAN 18
REVISION	A
SHEET	02
A3	

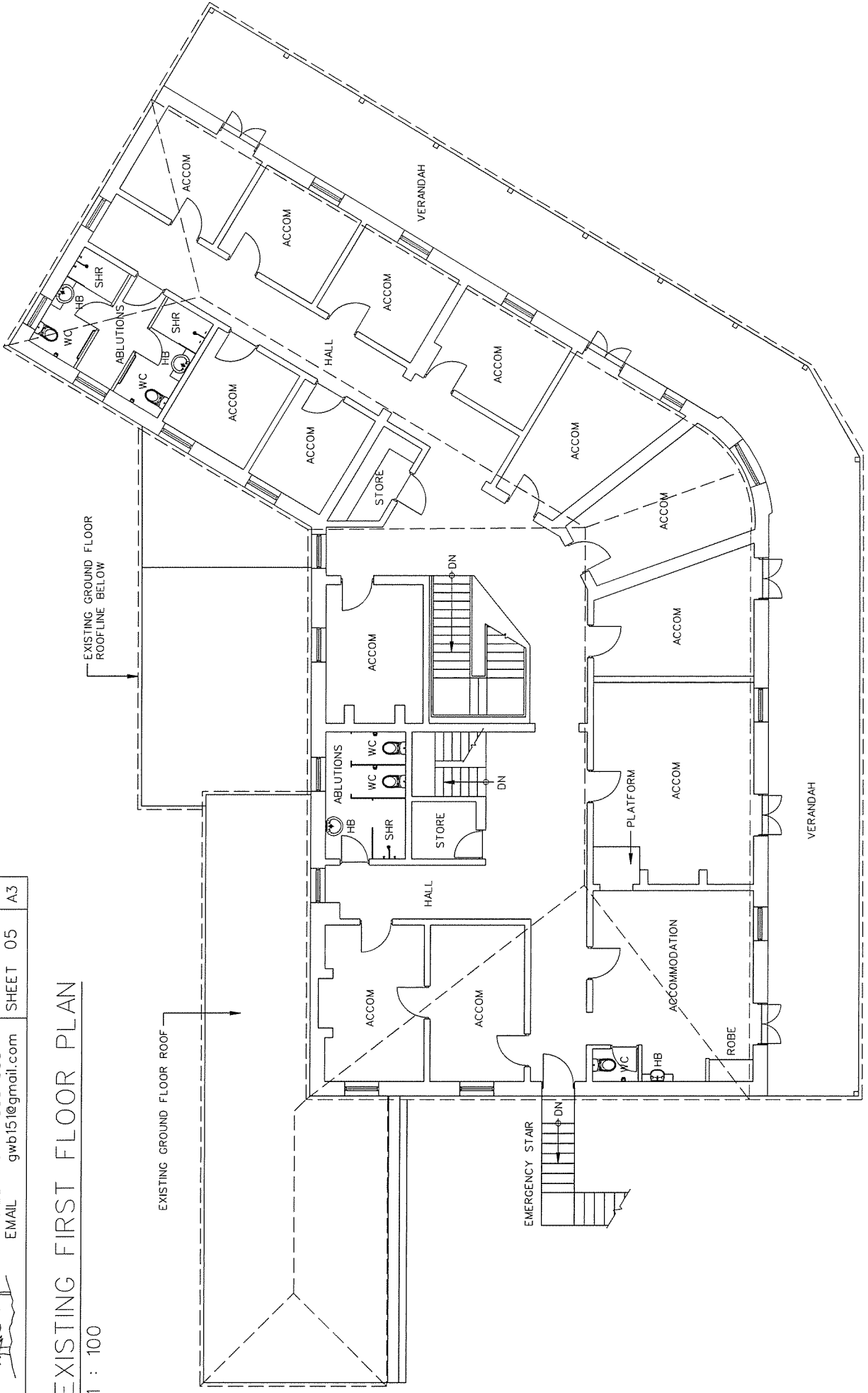
EXISTING GROUND FLOOR PLAN

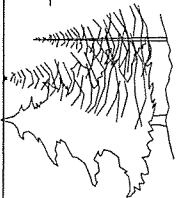
1 : 100





EXISTING FIRST FLOOR PLAN

$$\frac{1}{1:100}$$




PINEFIELD'S OF YORK

DRAWN

GWB

GARY W. BYFIELD
PO BOX 326
YORK W.A. 6302
MOBILE 0414 885 338
EMAIL gwb151@gmail.com

DATE

JAN 18

REVISION

A

SHEET

03

A3

GROUND FLOOR DEMOLITION PLAN

1 : 100

— DENOTES WALLS TO BE DEMOLISHED

REMOVE EXISTING TILED FLOORING TO SUIT PROPOSED WORKS. ALL EXISTING WALLS TO REMAIN

NON SIGNIFICANT (1970'S ADDITIONS) BRICK WALLS TO BE DEMOLISHED
ALL FITTINGS AND FIXTURES REMOVED FROM ABLUTIONS AREA
NON SIGNIFICANT

EXISTING ROOFLINE OVER COURTYARD AND ABLUTIONS

EXISTING COVERED VERANDAH

EXISTING DINING

EXISTING KITCHEN
REFER TO DETAIL PLAN FOR INFORMATION

SCULLERY

EXISTING BAR
REFER TO DETAIL PLAN FOR INFO

VERANDAH

STAIR

DN

UP

STAIR

DN

UP

STAIR

UP

OFFICE

FOYER

BAR

RESTAURANT

RESTAURANT

ENTRY

D3

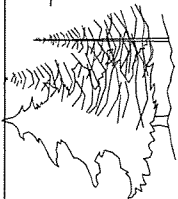
VERANDAH

REMOVE EXISTING BRICKWORK TO SUIT PROPOSED AS1428 COMPLIANT OPENING. SALVAGE DOOR FOR REUSE. SALVAGE ALL ARCHITRAVE FOR REUSE.

EXISTING DOORWAY TO BE CLOSED OFF AND RETAIN EXISTING DOOR

EXISTING DOORS TO BE REMOVED (NOT SIGNIFICANT) AND REPLACED WITH NEW AS1428 COMPLIANT DOORS. REFER TO DETAIL PLAN FOR ADDITIONAL INFORMATION

DEVELOPMENT APPLICATION SET



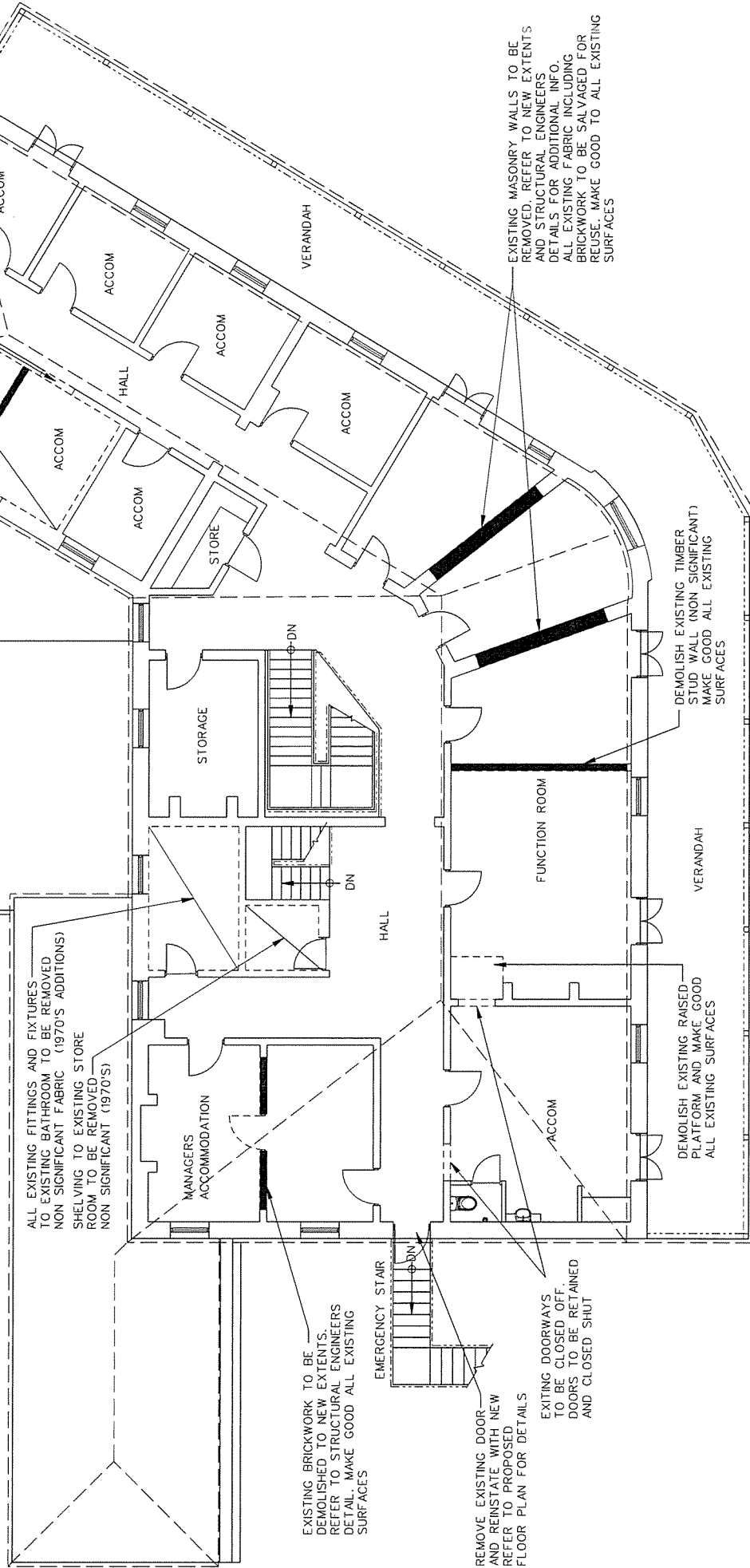
PINEFIELD'S OF YORK

GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 MOBILE 0414 885 338 EMAIL gwb151@gmail.com	DRAWN GWB
DATE JAN 18	REVISION A
SHEET 06	A3

FIRST FLOOR DEMOLITION PLAN

1 : 100

— DENOTES WALLS TO BE DEMOLISHED



NOTE
REFER TO PROPOSED FIRST FLOOR
PLAN FOR NEW LAYOUT TO ABLUTIONS
AREA. NOTE NEW DOORWAY LOCATIONS

ALL FITTINGS AND FIXTURES
REMOVED FROM ABLUTIONS AREA
NON SIGNIFICANT (1970'S)

REFER TO PROPOSED FIRST
FLOOR PLAN FOR NEW EXTENTS.
EXISTING TIMBER FLOOR TO
BE RETAINED

EXISTING OPENING, DOOR AND
ARCHITRAVES TO BE RETAINED
MAKE GOOD FLUSH FOR PROPOSED
NEW ABLUTIONS AREA. REFER TO
PROPOSED FIRST FLOOR PLAN FOR
EXTENT OF NEW WORKS

ALL EXISTING FITTINGS AND FIXTURES
TO EXISTING BATHROOM TO BE REMOVED
NON SIGNIFICANT FABRIC (1970'S ADDITIONS)
SHELVING TO EXISTING STORE
ROOM TO BE REMOVED
NON SIGNIFICANT (1970'S)

EXISTING BRICKWORK TO BE
DEMOLISHED TO NEW EXTENTS.
REFER TO STRUCTURAL ENGINEERS
DETAIL. MAKE GOOD ALL EXISTING
SURFACES

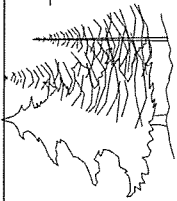
REMOVE EXISTING DOOR
AND REINSTATE WITH NEW
REFER TO PROPOSED
FLOOR PLAN FOR DETAILS

EXITING DOORWAYS
TO BE CLOSED OFF.
DOORS TO BE RETAINED
AND CLOSED SHUT

EXISTING MASONRY WALLS TO BE
REMOVED. REFER TO NEW EXTENTS
AND STRUCTURAL ENGINEERS
DETAILS FOR ADDITIONAL INFO.
ALL EXISTING FABRIC INCLUDING
BRICKWORK TO BE SALVAGED FOR
REUSE. MAKE GOOD TO ALL EXISTING
SURFACES

DEMOLISH EXISTING RAISED
PLATFORM AND MAKE GOOD
ALL EXISTING SURFACES

DEMOLISH EXISTING TIMBER
STUD WALL (NON SIGNIFICANT)
MAKE GOOD ALL EXISTING
SURFACES



PINEFIELD'S OF YORK	DRAWN	GWB
GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 MOBILE 0414 885 338 EMAIL gwb151@gmail.com	DATE	JAN 18
	REVISION	A
	SHEET	04 A3

PROPOSED GROUND FLOOR PLAN

1 : 100

PROPOSED SERVICE COMPOUND
REFER TO ELEVATIONS FOR
DETAILS

SERVICE COMPOUND

SCULLERY

KITCHEN

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

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SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

PROPOSED CORRUGATED COLORBOND
FENCING. REFER TO ELEVATIONS
FOR DETAILS

REFER TO DRAWING 09 FOR
NEW MALE AND FEMALE
ABLUTIONS AREA

COVERED WALKWAY

EXISTING
COVERED
VERANDAH

MALE

FEMALE

AMB

ACCESSIBLE
TOILET

FOYER

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

UP

DOWN

STAIR

CAFE - REFER TO OUTDOOR
AREA TABLE PLAN FOR TABLE
AND SEAT ARRANGEMENT

CAFE - REFER TO TABLE PLAN
FOR SEATING AND TABLE
ARRANGEMENT AND AREAS

SERVICE ZONE D2

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

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SERVICE ZONE

SERVICE ZONE

SERVICE ZONE

CAFE OUTDOORS - REFER TO TABLE
PLAN FOR SEATING AND TABLE
ARRANGEMENT AND AREAS

EXTENSION TO EXISTING BAR

PROPOSED NEW 920 LEAF
DOOR. REFER TO DETAIL
FOR ADDITIONAL INFORMATION
ALTERNATIVE ENTRY POINT

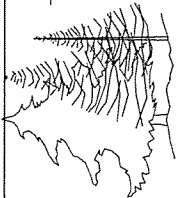
MAIN ENTRANCE

RESTAURANT
REFER TO TABLE PLAN
FOR TABLE AND SEAT
ARRANGEMENT AND AREAS

REFER TO OUTDOOR AREA
TABLE PLAN FOR TABLE
AND SEAT ARRANGEMENT
AND AREAS

REFER TO DRAWING 15
FOR STAIR BALUSTRADE
DETAILS

DEVELOPMENT APPLICATION SET

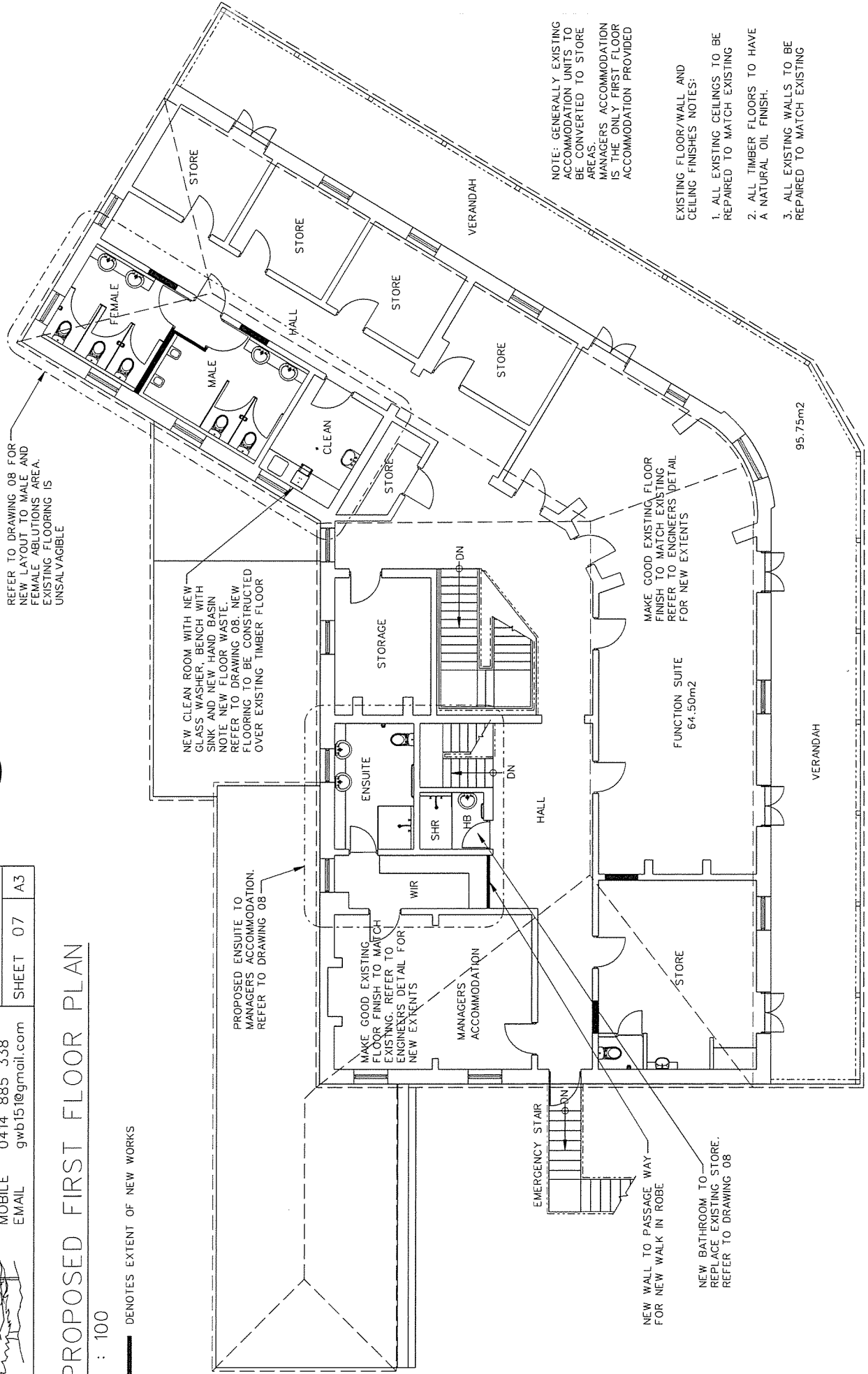


PINEFIELD'S OF YORK		DRAWN	GWB
GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 MOBILE 0414 885 338 EMAIL gwb151@gmail.com		DATE	JAN 18
		REVISION	A
		SHEET	07 A3

PROPOSED FIRST FLOOR PLAN

1 : 100

— DENOTES EXTENT OF NEW WORKS



GENERAL NOTES

RESTORATION OF STONEMWORK

1. RAKE OUT GREY CEMENT MORTAR REPAIRS AND POINTING. RE-POINT EXISTING WITH LIME MORTAR BASED ON THE COMPOSITION AND VISUAL ANALYSIS OF ORIGINAL EXISTING MORTAR

ROOF AND SITE DRAINAGE

2. CONNECT ALL EXISTING DOWNPIPES TO SOAKWELLS AND GRADE FALLS AWAY FROM EXISTING BUILDING
3. INSTALL NEW SITE DRAINAGE WHERE REQUIRED AROUND THE BUILDING PERIMETER

RESTORATION OF TIMBERS

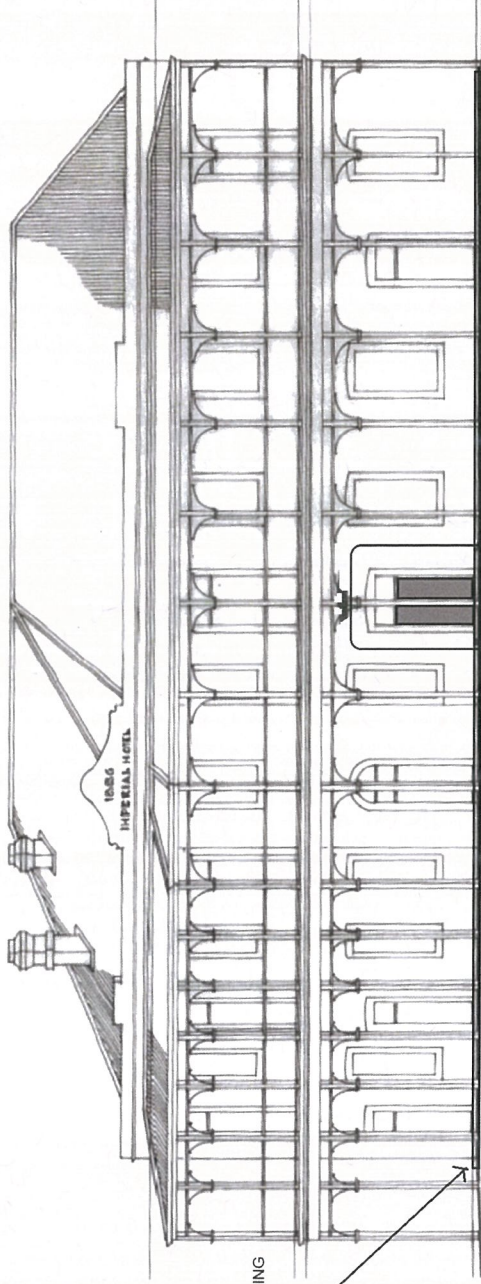
4. REPAIR EXTERNAL TIMBER ELEMENTS WITH QUALITY OIL BASED PAINT. PAINT FINISH TO COLOUR TO MATCH EXISTING
5. RESTORE TIMBER WINDOWS. WORKS TO INCLUDE:-
 - REMOVAK OF REDUNDANT AIRCONDITIONING CONDENSER UNITS
 - REPAIRS TO DAMAGED OR MISSING GLAZING
 - REPAIRS TO TIMBER CASEMENTS, FRAMES AND SASHES WITH MINIMAL REMOVAL OF EXISTING FABRIC
 - LIGHTLY SANE. PRIME AND RE-PAINT ALL IN EXTERIOR OIL BASED PAINT. PAINT FINISH TO COLOUR MATCH EXISTING

STRUCTURAL INVESTIGATIONS

6. CARRY OUT STRUCTURAL INVESTIGATIONS AND SPECIFY ANY REMEDIATION REQUIRED

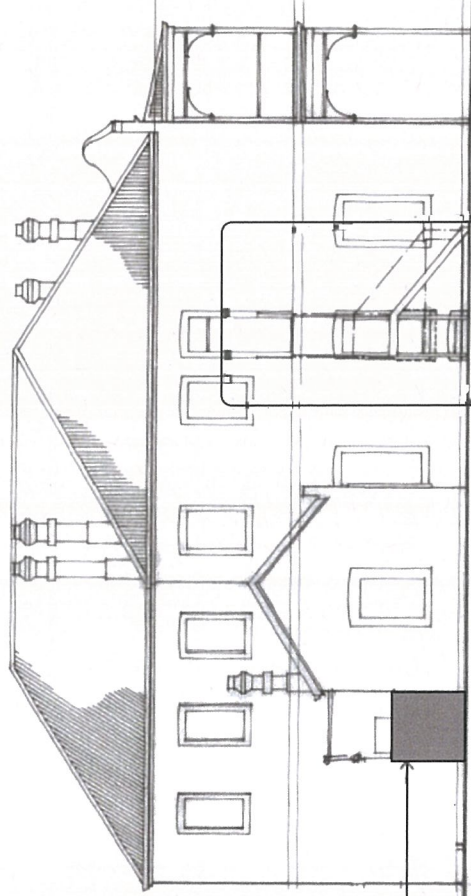
REPAIRS TO RENDERED SURFACES

7. REPAIR CRACKED AND DEGRADED RENDER DETAILS WITH MORTAR TO MATCH ORIGINAL COMPOSITION. PAINT RENDER TO COLOUR MATCH EXISTING



EAST ELEVATION 1:100

FREE DRAINING
CHANNEL TO BUILDING
PERIMETER

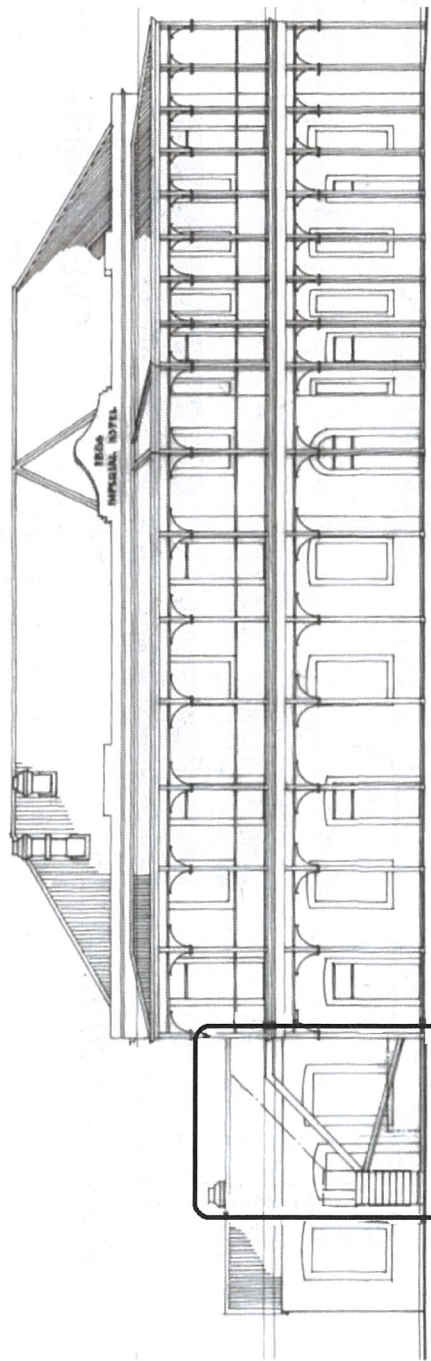


WEST ELEVATION 1:100

PROPOSED CORRUGATED
COLOURBOND
FENCE TO COLOUR MATCH
EXISTING

DEVELOPMENT APPLICATION SET

DEVELOPMENT PROPOSAL	PINEFIELD'S OF YORK	DRAWN	DATE
IMPERIAL HOMESTEAD -HOTEL	GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 08 9428 1144 info@pines.com.au	DATE	DATE
		REVISION	REVISION
		SHEET 01	A3



SOUTH ELEVATION 1:100

NOTE: INSTALL FREE DRAINING CHANNEL ADJACENT TO WALL FOOTING. REMOVE HARSTAND EXTENTS TO 300mm AROUND BUILDING PERIMETER AND BAG EXCAVATE CHANNEL BEFORE BACKFILLING WITH FREE DRAINING MATERIAL

INVESTIGATE FLASHING DETAILS TO ALL CHIMNEY DETAILS AND MAKE GOOD TO EXISTING

INVESTIGATE CONDITION OF EXISTING VERANDAH TIMBERS RESTORE VERANDAH WHERE REQUIRED BY REPLACING DAMAGED BOARDS WITH MATCHING EXAMPLES (NOTE VERANDAH IS A REPLICA OF EXISTING-NOT ORIGINAL FABRIC)

INVESTIGATE CONDITION OF VERANDAH BALUSTRADE, WHERE REQUIRED REMOVE PAINT FROM METAL BALUSTRADE, PRIME (RUST INHIBITOR) AND PAINT TO MATCH EXISTING (NOTE VERANDAH IS A REPLICA OF EXISTING NOT ORIGINAL FABRIC)

GENERAL NOTES

RESTORATION OF STONEMWORK

1. RAKE OUT GREY GEMENT MORTAR REPAIRS AND POINTING. RE-POINT EXISTING WITH LINE MORTAR BASED ON THE COMPOSITION AND VISUAL ANALYSIS OF ORIGINAL EXISTING MORTAR

ROOF AND SITE DRAINAGE

2. CONNECT ALL EXISTING DOWNPIPES TO SOAKWELLS AND GRADE FALLS AWAY FROM EXISTING BUILDING

3. INSTALL NEW SITE DRAINAGE WHERE REQUIRED AROUND THE BUILDING PERIMETER

RESTORATION OF TIMBERS

4. REPAIR EXTERNAL TIMBER ELEMENTS WITH QUALITY OIL BASED PAINT. PAINT FINISH TO COLOUR TO MATCH EXISTING

5. RESTORE TIMBER WINDOWS, WORKS TO INCLUDE:-

- REMOVAL OF REDUNDANT AIRCONDITIONING CONDENSER UNITS
- REPAIRS TO DAMAGED OR MISSING GLAZING
- REPAIRS TO TIMBER CASEMENTS, FRAMES AND SASHES WITH MINIMAL REMOVAL OF EXISTING FABRIC
- LIGHTLY SANE, PRIME AND RE-PAINT ALL IN EXTERIOR OIL BASED PAINT. PAINT FINISH TO COLOUR MATCH EXISTING

STRUCTURAL INVESTIGATIONS

6. CARRY OUT STRUCTURAL INVESTIGATIONS AND SPECIFY ANY RECOMMENDATION REQUIRED

REPAIRS TO RENDERED SURFACES

7. REPAIR CRACKED AND DEGRADED RENDER DETAILS WITH MORTAR TO MATCH ORIGINAL COMPOSITION. PAINT RENDER TO COLOUR MATCH EXISTING

DEVELOPMENT APPLICATION SET

DEVELOPMENT PROPOSAL IMPERIAL HOMESTEAD HOTEL	PINEFIELD'S OF YORK		DRAWN	DATE
			DATE	DATE
		GARY W BYFIELD PO BOX 326 YORK W.A. 6302 TEL: 08 9405 1111 FAX: 08 9405 1112	REVISION	SHEET 02

GENERAL NOTES

RESTORATION OF STONEMWORK

- 1. RAKE OUT GREY CEMENT MORTAR REPAIRS AND POINTING. RE-POINT EXISTING WITH LIVE MORTAR BASED ON THE COMPOSITION AND VISUAL ANALYSIS OF ORIGINAL EXISTING MORTAR

ROOF AND SITE DRAINAGE

- 2. CONNECT ALL EXISTING DOWNPIPES TO SOAKWELLS AND GRADE FALLS AWAY FROM EXISTING BUILDING
- 3. INSTALL NEW SITE DRAINAGE WHERE REQUIRED AROUND THE BUILDING PERIMETER

RESTORATION OF TIMBERS

- 4. REPAIR EXTERNAL TIMBER ELEMENTS WITH QUALITY OIL BASED PAINT. PAINT FINISH TO COLOUR TO MATCH EXISTING
- 5. RESTORE TIMBER WINDOWS. WORKS TO INCLUDE:-

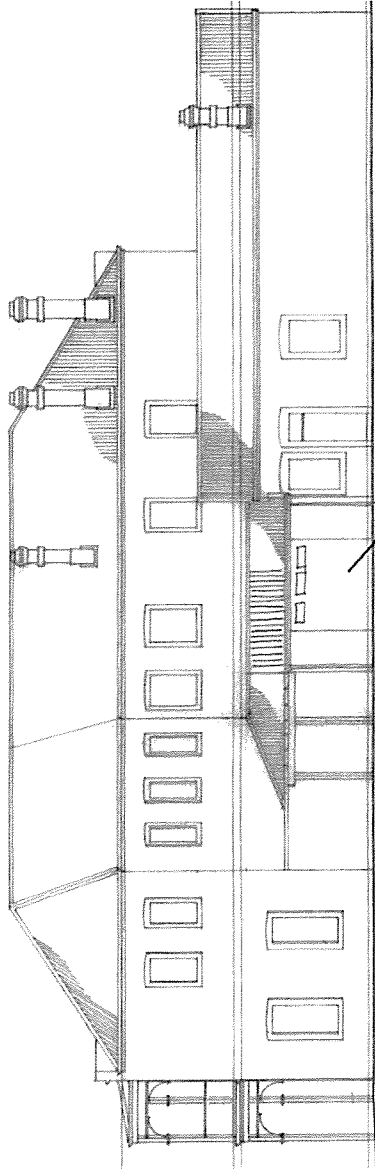
- REMOVAL OF REDUNDANT AIRCONDITIONING CONDENSER UNITS
- REPAIRS TO DAMAGED OR MISSING GLAZING
- REPAIRS TO TIMBER CASEMENTS, FRAMES AND SASHES WITH MINIMAL REMOVAL OF EXISTING FABRIC
- LIGHTLY SAWN, PRIME AND RE-PAINT ALL IN EXTERIOR OIL BASED PAINT. PAINT FINISH TO COLOUR MATCH EXISTING

STRUCTURAL INVESTIGATIONS

- 6. CARRY OUT STRUCTURAL INVESTIGATIONS AND SPECIFY ANY REMEDIATION REQUIRED

REPAIRS TO RENDERED SURFACES

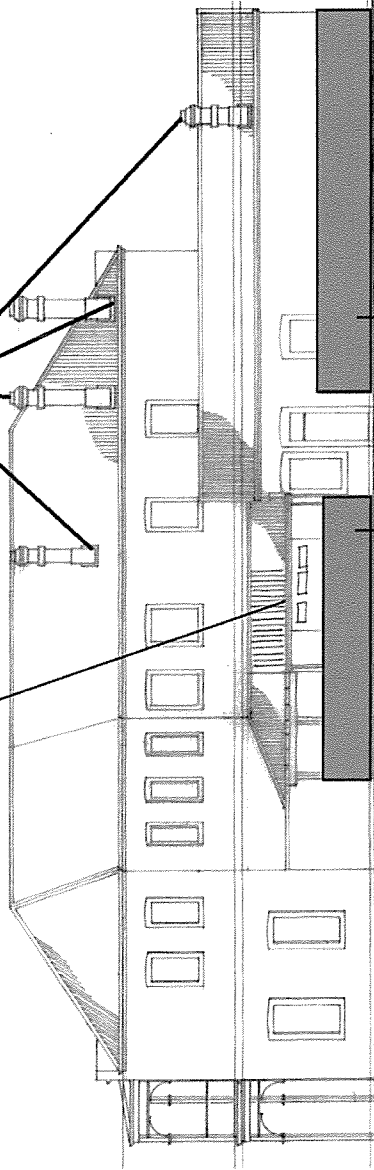
- 7. REPAIR CRACKED AND DEGRADED RENDER DETAILS WITH MORTAR TO MATCH ORIGINAL COMPOSITION
- PAINT RENDER TO COLOUR MATCH EXISTING



EXISTING NORTH ELEVATION 1:100

INVESTIGATE FLASHING DETAILS TO ALL CHIMNEY DETAILS AND MAKE GOOD TO EXISTING

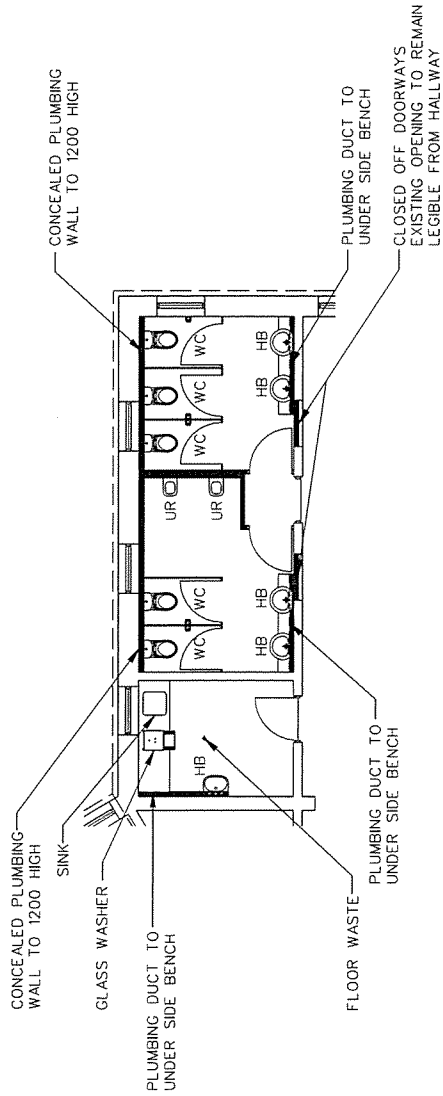
INTRUSIVE ABLUTIONS SCREENED BY NEW FENCE



PROPOSED NORTH ELEVATION 1:100

DEVELOPMENT APPLICATION SET

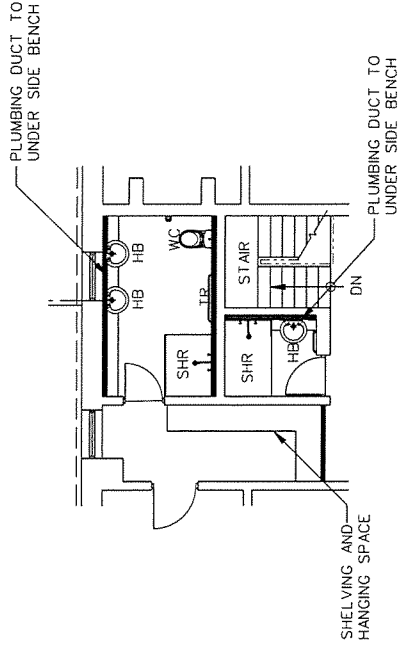
DEVELOPMENT PROPOSAL	PREFIELDS OF YOUR DRAWING
IMPERIAL HOMESTEAD HOTEL	CARTER BYFIELD
	PO BOX 126
	WYOMING, W.A. 8002
	DATE
	REVISION
	1003



FIRST FLOOR ABLUTIONS

1 : 100

NOTE : MAKE GOOD TO ALL EXISTING SURFACES, WHERE POSSIBLE
ALL EXISTING TIMBER FLOORING IS TO REMAIN AND NEW COMPRESSED
FIBRE CEMENT SHEETING INSTALLED OVER EXISTING WITH IMPERVIOUS
WATER PROOF FLOOR FINISH (TILES/ VINYL)



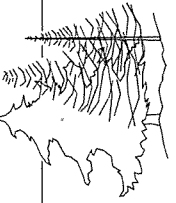
MANAGERS ENSUITE AND WIR

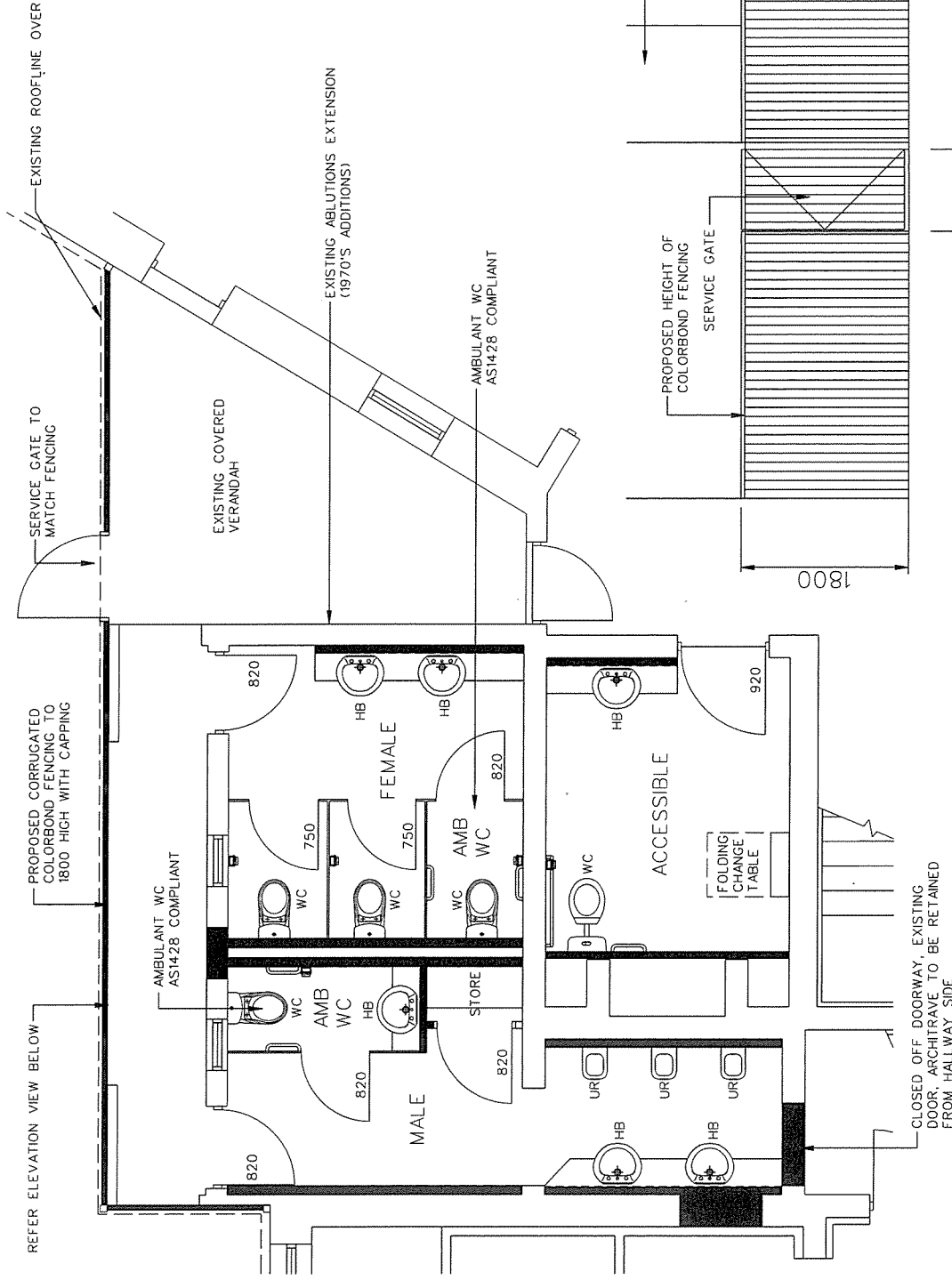
1 : 100

NOTE : MAKE GOOD TO ALL EXISTING SURFACES, NEW COMPRESSED
FIBRE CEMENT SHEETING TO BE INSTALLED OVER EXISTING FLOORING
WITH IMPERVIOUS WATER PROOF FLOOR FINISH (TILES/ VINYL)

— DENOTES EXTENT OF NEW WORKS

DEVELOPMENT APPLICATION SET

PINEFIELD'S OF YORK		DRAWN	GWB
		DATE	JAN 18
		REVISION	A
		SHEET	08 A3
GARY W. BYFIELD PO BOX 326 YORK W.A. 6302 MOBILE 0414 885 338 EMAIL gwb151@gmail.com			



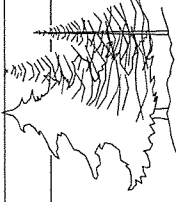
PROPOSED GROUND FLOOR ABLUTIONS

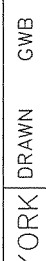
1 : 50

VIEW OF SCREEN FENCING

DEVELOPMENT APPLICATION SET

NOTE : EXISTING ABLUTIONS BLOCK IS NOT SIGNIFICANT FABRIC.
(CONSTRUCTED IN THE 1970'S) EXISTING ABLUTIONS TO BE RETAINED
AND SCREENED TO REDUCE INTRUSIVE CHARACTER



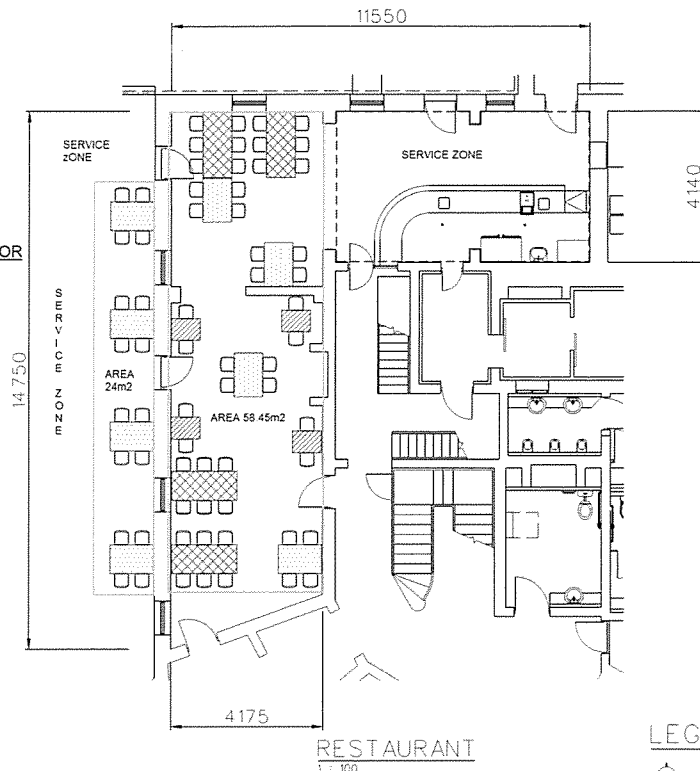
	PINEFIELD'S OF YORK			DRAWN	GWB
	GARY W. BYFIELD			DATE	JAN 18
	PO BOX 326			REVISION	A
	YORK W.A. 6302				
	MOBILE 0414 885 338				
EMAIL gwb151@gmail.com			SHEET	09	A3

— DENOTES EXTENT OF NEW WORKS

RESTAURANT INDOOR AND OUTDOOR AREA SCHEDULE

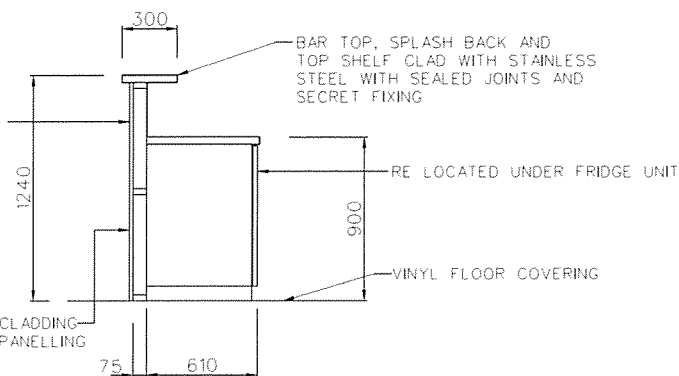
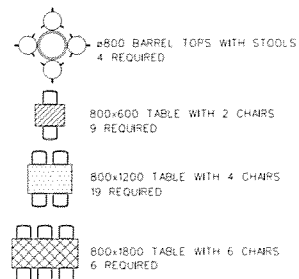
INDOORS=58.45m²

OUTDOORS=24m²



RESTAURANT
1:100

LEGEND



TYPICAL BAR SECTION

CAFE (INDOOR AND OUTDOOR) AREA SCHEDULE

INDOORS

-4.5m²

-33m²

-2m²

-4.5m²

TOTAL AREA=44m²

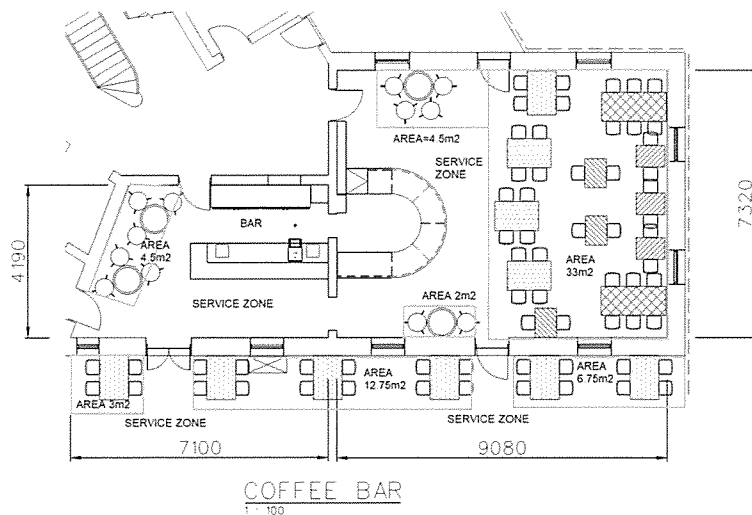
OUTDOORS

-6.75m²

-13.75m²

-3m²

TOTAL AREA=23.5m²

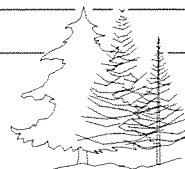


COFFEE BAR
1:100

DEVELOPMENT APPLICATION SET

PROPOSED DEVELOPEMENT

IMPERIAL HOMESTEAD
LOT 12 AVON TERRACE
YORK W.A. 6302



PINEFIELD'S OF YORK

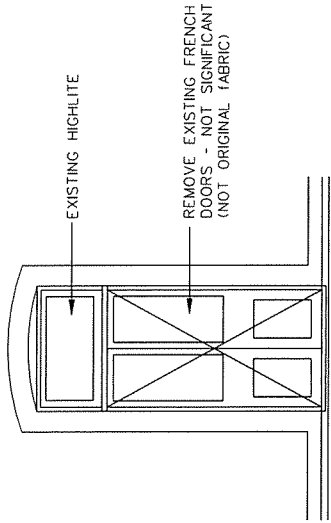
GARY W. BYFIELD
PO BOX 326
YORK W.A. 6302
MOBILE 0414 885 338
EMAIL gwb151@gmail.com

DRAWN GWB

DATE JAN 18

REVISION A

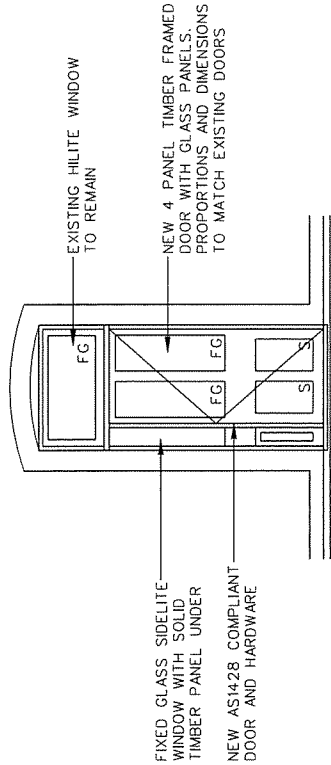
SHEET 13 A2



D1

EXISTING DOORWAY

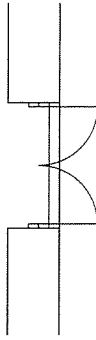
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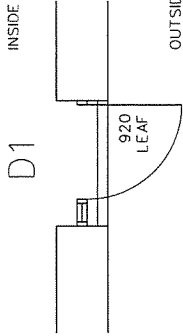
D1

PROPOSED DOORWAY

1 : 50



D1



EXISTING DOORWAY PLAN

1 : 50

PROPOSED DOORWAY PLAN

1 : 50

DEVELOPMENT APPLICATION SET

PINEFIELD'S OF YORK		DRAWN	GWB
GARY W. BYFIELD PO BOX 326 YORK W.A. 6302		DATE	JAN 18
MOBILE 0414 885 338 EMAIL gwb151@gmail.com		REVISION	A
		SHEET	14 A3

PROPOSED OCUPANCY MANAGEMENT STRATEGY and ASOCIATED CAR PARKING REQUIREMENTS

Imperial Homestead (Hotel)

1. Document Purpose

The Purpose of this document is to identify and describe the areas of occupancy within the proposed Imperial Homestead (Hotel) development and the supporting management plans for the simultaneous operations of each area and the resultant impact on site car parking arrangements.

2. Occupancy Areas and Carparking Requirements

Table 1 and Table 2 show the breakdown of area types, associated square metre measurements and parking bay requirements for each area. **Table 1** considers Table and Seat numbers in the Restaurant and Café Areas. **Table 2** considers the square metre areas occupied for patrol use in the Restaurant and Café Areas. Each area is colour coded for ease of understanding.

Please refer to **Appendix A** of this document for associated plan

Table 1 Hotel Areas and Carparking Requirements						
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement
1	Accommodation				5 units	5 bays
2	Café Indoors	16	48	nil	Refer to drawing	12 bays
3	Café Outdoors	6	24	nil	Refer to drawing	6 Bays
4	Restaurant Indoors	12	48	nil	Refer to drawing	12 Bays
5	Restaurant Outdoors	4	16	nil	Refer to drawing	4 Bays
6	Rear Alfresco Area	Refer to Area Schedule			Area=65m2	14.3 Bays (area 65m2)
7	Upstairs function Area	Refer to Area Schedule			Area =65m2	14.3 Bays (area 65m2)
	TOTAL					67.6 Bays + 1 Accessible Bay

Table 1

Table 2 Hotel Areas and Carparking Requirements						
Item no.	Area Name	Tables	Seats	Standing (m2)	Area (m2)	Parking Requirement
1	Accommodation				5 units	5 bays
2	Café Indoors	Refer to Area schedule on drawing			Area= 44m2	10 bays
3	Café Outdoors	Refer to Area schedule on drawing			Area=23.5m2	5.2 bays
4	Restaurant Indoors	Refer to Area schedule on drawing			Area=58.45m2	12.9 bays
5	Restaurant Outdoors	Refer to Area Schedule on drawing			Area=24m2	5.3 bays
6	Rear Alfresco Area	Refer to Area Schedule			Area=65m2	14.3 Bays (area 65m2)
7	Upstairs function Area	Refer to Area Schedule			Area =65m2	14.3 Bays (area 65m2)
	TOTAL					67 Bays + 1 Accessible Bay

Table 2

3. Occupancy Management Strategy

The Owners propose to implement a series of management strategies for business operations. These strategies will limit the occupancy of the building at any one time. These strategies are summarised in 5 key scenarios. Parking requirements are modelled for each proposed scenario. The maximum parking requirement is for Scenario 3, which indicates a parking requirement of 37.6 car bays.

This requirement falls inside the proposed car parking arrangement plan, which provides a total of 38 bays and 1 accessible bay on site.

The five key management scenarios are summarised below:

5 Key Scenarios

1. Daytime Trade
2. Night time Trade
3. Bookable Function
4. Inclement weather-non-bookable
5. Inclement weather-bookable

Management Scenarios and associated car parking requirements modelling are shown on **Tables 3-7** enclosed.

Scenario 1- Daytime Trade

Open Areas

- Café Indoors
- Café Outdoors
- Rear Alfresco
- Accommodation

Closed Areas

- Upstairs Function
- Restaurant Indoors
- Restaurant Outdoors

Scenario 1- Table 3							
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement Table 1	Parking Requirement Table 2
1	Accommodation				5 units	5 bays	5 bays
2	Café Indoors	16	48	nil	Refer to drawing	12 bays	10 bays
3	Café Outdoors	6	24	nil	Refer to drawing	6 bays	5.2bays
6	Rear Alfresco Area	Refer to Area Schedule			Area=65m2	14.3 bays (area 65m2)	14.4 bays (area 65m2)
	TOTAL					37.3 Bays + 1 Accessible bay	34.5 Bays+ 1 Accessible bay

Table 3

Maximum Car Parking Requirement Scenario 1= 38 bays + 1 Accessible Bay

Scenario 2- Night-time Trade

Open Areas

- Restaurant Indoors
- Restaurant Outdoors
- Rear Alfresco
- Accommodation

Closed Areas

- Café Indoors
- Café Outdoors
- Upstairs Function Area

Scenario 2-Table 4							
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement Table 1	Parking Requirement Table 2
1	Accommodation				5 units	5 bays	5 bays
4	Restaurant Indoors	12	48	nil	Refer to drawing	12 bays	12.9 bays
5	Restaurant Outdoors	4	16	nil	Refer to drawing	4 bays	5.3 bays
6	Rear Alfresco Area	Refer to Area Schedule			Area=65m2	14.3 bays (area 65m2)	14.3 bays(65m2)
	TOTAL					35.3 bays + 1 Accessible bay	37.5bays+ 1 Accessible bay

Table 4

Maximum Car Parking Requirement Scenario 2= 38 bays + 1 Accessible Bay

Scenario 3- Bookable Functions (Occupancy on Bookings only to facilitate management strategy)

Open Areas

- Upstairs Function Area
- Restaurant Outdoors
- Restaurant Indoors
- Accommodation

Closed Areas

- Outdoor Café
- Indoor Café
- Rear Alfresco Area

Scenario 3- Table 5							
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement	Parking Requirement
1	Accommodation				5 units	5 bays	5 bays
4	Restaurant Indoors	12	48	nil	Refer to drawing	12 bays	12.9 bays
5	Restaurant Outdoors	4	16	nil	Refer to drawing	4 bays	5.3 bays
7	Upstairs function Area	Refer to Area Schedule			Area =65m2	14.3 bays (area 65m2)	14.3 bays (area 65m2)
	TOTAL					35.3 bays + 1 Accessible bay	37.5 bays + 1 Accessible bay

Table 5

Maximum Car Parking Requirement Scenario 3= 38 bays + 1 Accessible Bay

Scenario 4- Inclement Weather Days

Open Areas- non-bookable

- Café Indoors
- Restaurant Indoors
- Accommodation

Closed Areas

- Café Outdoors
- Restaurant Outdoors
- Alfresco Outdoors
- Upstairs Function Area

Scenario 4-Table 6							
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement	Parking Requirement
1	Accommodation				5 units	5 bays	5 bays
2	Café Indoors	16	48	nil	Refer to drawing	12 bays	10 bays
4	Restaurant Indoors	12	48	nil	Refer to drawing	12 bays	12.9 bays
	TOTAL					29 bays + 1 Accessible Bay	27.9 bays+ 1 Accessible bay

Table 6

Maximum Car Parking Requirement Scenario 4= 29 bays + 1 Accessible Bay

Scenario 5- Inclement Weather Days

Open Areas- Bookable

- Café Indoors
- Upstairs Function Space
- Accommodation

Closed Areas

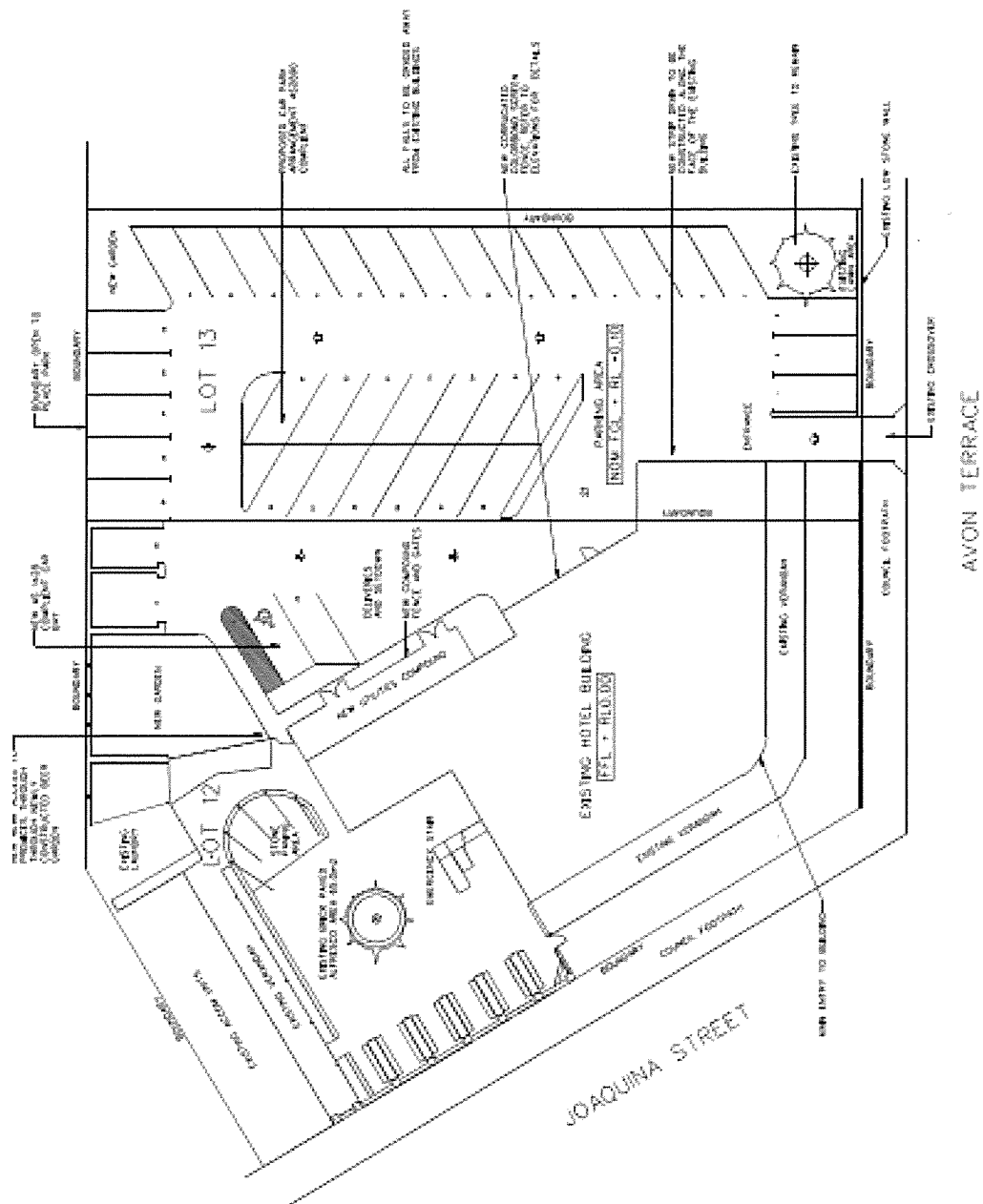
- Café Outdoors
- Restaurant Outdoors
- Restaurant Outdoors
- Alfresco Outdoors

Scenario 5-Table 7							
Item no.	Area Name	Tables	Seats	Standing (m2)	Comments	Parking Requirement	Parking Requirement
1	Accommodation				5 units	5 bays	5 car bays
2	Café Indoors	16	48	nil	Refer to drawing	12 bays	10 bays
7	Upstairs function Area	Refer to Area Schedule			Area =65m2	14.3 bays (area 65m2)	14.3 bays (area 65m2)
	TOTAL					31.3 bays + 1 Accessible Bay	29.3 bays+ 1 Accessible bay

Table 7

Maximum Car Parking Requirement Scenario 5= 32 bays + 1 Accessible Bay

Parking compliant with AS 2890_1





Department of Planning,
Lands and Heritage

SY049-05/18
APPENDIX E

Your ref: O129864/AV1, A12790
Our ref: P10725/44080
Enquiries: Louise Ryan (08) 6552 4118

Chief Executive Officer
Shire of York
PO Box 22
YORK WA 6302

Attention: Carly Rundle, Senior Planner

Dear Sir

IMPERIAL HOTEL

Under the provisions of Section 11 of the *Heritage of Western Australia Act 1990*, the proposed development as described below has been referred to the Heritage Council for its advice.

Place Number	P10725
Place Name	Imperial Hotel
Street Address	83 Avon Terrace, York
Referral date	4 April 2018
Development Description	Alterations and conservation works

We received the following information:

Drawings prepared by Wood & Grieve Engineers, dated 28 March 2018:

ST-000-00 RevA	Cover Page
ST-000-01 RevA	General Notes – Sheet 1
ST-000-02 RevA	General Notes – Sheet 2
ST-010-00 RevA	New Opening Location Plan
ST-010-01 RevA	New Opening Section
ST-010-02 RevA	New Opening Details

Drawings prepared by Pinefield's of York, dated January 2018:

Sheet 01 RevA	Development Application Set (March 2018)
Sheet 01 RevA	East and West Elevations (March 2018)
Sheet 02 RevA	South Elevation (March 2018)
Sheet 03 RevA	North Elevation – Existing & Proposed (March 2018)
Sheet 02 RevA	Existing Ground Floor Plan
Sheet 03 RevA	Ground Floor Demolition Plan
Sheet 04 RevA	Proposed Ground Floor Plan
Sheet 05 RevA	Existing First Floor Plan
Sheet 06 RevA	First Floor Demolition Plan
Sheet 07 RevA	Proposed First Floor Plan
Sheet 08 RevA	Details – First Floor Ablutions & Managers Ensuite
Sheet 09 RevA	Details – Ground Floor Ablutions & Screen Fencing
Sheet 11 RevA	Existing Site Plan
Sheet 12 RevA	Proposed Site Plan showing Parking & Landscaping

Sheet 13 RevA	Details – Typical Bar Section & Coffee Bar
Sheet 14 RevA	Details – Doorways
Sheet 15 RevA	Details – Escape Stairs

The referral for the proposed development has been considered in the context of the identified cultural significance of the *Imperial Hotel* and the following advice is given:

Findings

- The Imperial Hotel is significant for its contribution to York, an important Western Australian historic town, through its architectural appeal and streetscape prominence, and is a fine representative example of Victorian Filigree architecture.
- The referral is for alterations and conservation works to the Hotel. The works include
 - Internal alterations to the first floor to accommodate a function room and to upgrade the managers residence and ablutions
 - Upgrade works to the ground floor ablutions and kitchen areas
 - Site works to improve parking
 - New fence to screen service areas at rear
 - Alterations to meet access requirements for ingress and egress
 - Conservation works to the facades of the building to remove and replace inappropriate cement repairs and to address general deterioration of the mortar and stonework
 - Repairs to the timber
 - Drainage works to connect downpipes to soakwells and new perimeter drainage to direct water away from the building.
 - Restoration of verandahs – timber columns, floors and wrought iron balustrades
 - Restoration of timber windows throughout
- The drawings indicate that the northern most wall of the ruins at the rear of the site may be planned for removal. Any demolition of the ruins is not acceptable and this fabric is required to be retained.
- The removal of the internal walls on the first floor to create a larger function area is acceptable as this will assist in revitalising the place. Adequate wall nibs will need to be retained so that the original layout of the spaces can be read.
- It is noted that there is significant vertical cracking and other possible structural issues that require additional investigation. This should be carried out prior to undertaking the conservation works to the stonework.
- The conservation works to the exterior of the building (façade works, verandah repairs, window repairs) are very extensive and will require a degree of expertise.
- If undertaken in accordance with good conservation practice, the works will have a positive outcome for the place and provide for its ongoing use.

Advice

The proposed development, in accordance with the plans submitted, is supported subject to the following conditions:

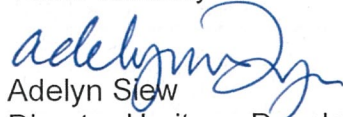
1. Inappropriate cement mortars are to be removed by hand to protect the stonework of the building.
2. New mortars are to be lime rich and match the composition and colour of the original mortar.
3. Timber repairs are to be like-for-like.
4. No abrasive blasting is to be used to remove paint from the metal balustrades, this is to be undertaken by hand.
5. A structural investigation is to be carried out prior to undertaking the conservation works to the stonework. The outcomes of any such investigation are to be forwarded to the Heritage Council for review.
6. No demolition work is to be undertaken to the ruins at the rear of the site.
7. Wall nibs of approximately 450mm are to be retained where walls are being removed on the first floor to accommodate a new function room.

Further to the above conditions, it is strongly recommended that a heritage practitioner, with experience in the physical conservation of fabric, oversees this project to ensure that repairs are undertaken appropriately.

We would appreciate a copy of your Council's determination for our records.

Should you have any queries regarding this advice please contact Louise Ryan at louise.ryan@dplh.wa.gov.au or on 6552 4118.

Yours faithfully



Adelyn Siew
Director Heritage Development

26 April 2018

